

TOTAL ACREAGE OF LOT: 1.06 ACRES  
GROSS FLOOR AREA (GFA): 8,800 Sq. Ft.

CITY OF ELIZABETH CITY ZONING ORDINANCES:  
PRESENT ZONING: GB - GENERAL BUSINESS  
TOTAL PARKING REQUIRED: 1 SPACE PER 200 Sq. Ft.  
44 PARKING SPACES REQUIRED  
TOTAL PARKING PROVIDED: 42 SPACES + 2 HANDICAP  
(1 VAN ACCESSIBLE)

MINIMUM BUILDING SETBACKS (MBL):  
FRONT: 20' FROM R/W  
SIDE: 20'  
REAR: 15'

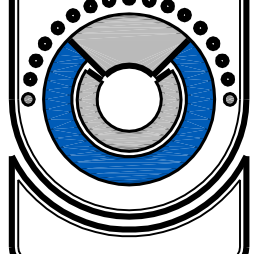
BUFFERYARDS:  
FRONT: 25' FROM R/W  
SIDE: 0'  
REAR: 0'

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.

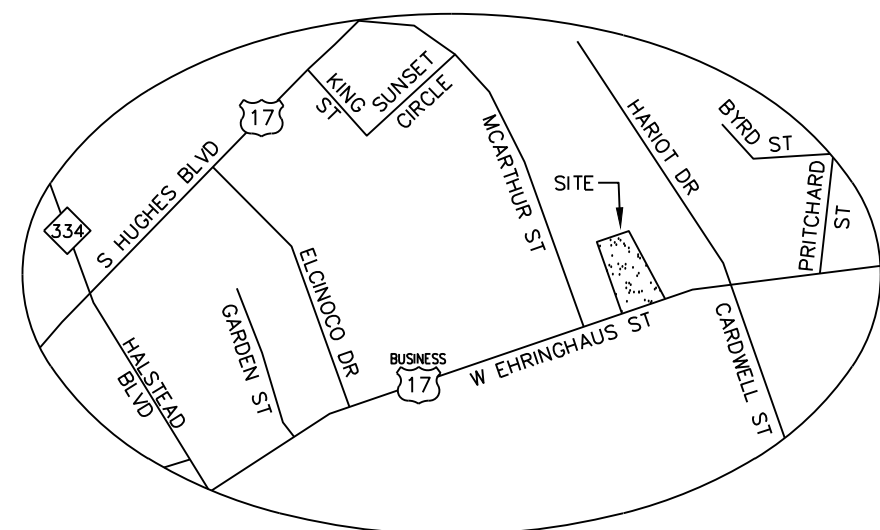


Project Name & Location  
**SITE LAYOUT**  
BILL TAYLOR  
1314 EHRINGHAUS STREET  
ELIZABETH CITY, NORTH CAROLINA

Firm Name and Address  
**A.R. CHESSON**  
CONSTRUCTION COMPANY, INC.  
PO BOX 1147-315 WEST MAIN ST.  
WILLIAMSTON, NC 27892  
PHONE: 252-792-4486  
FAX: 252-792-9090  
Web Address: archesson.com



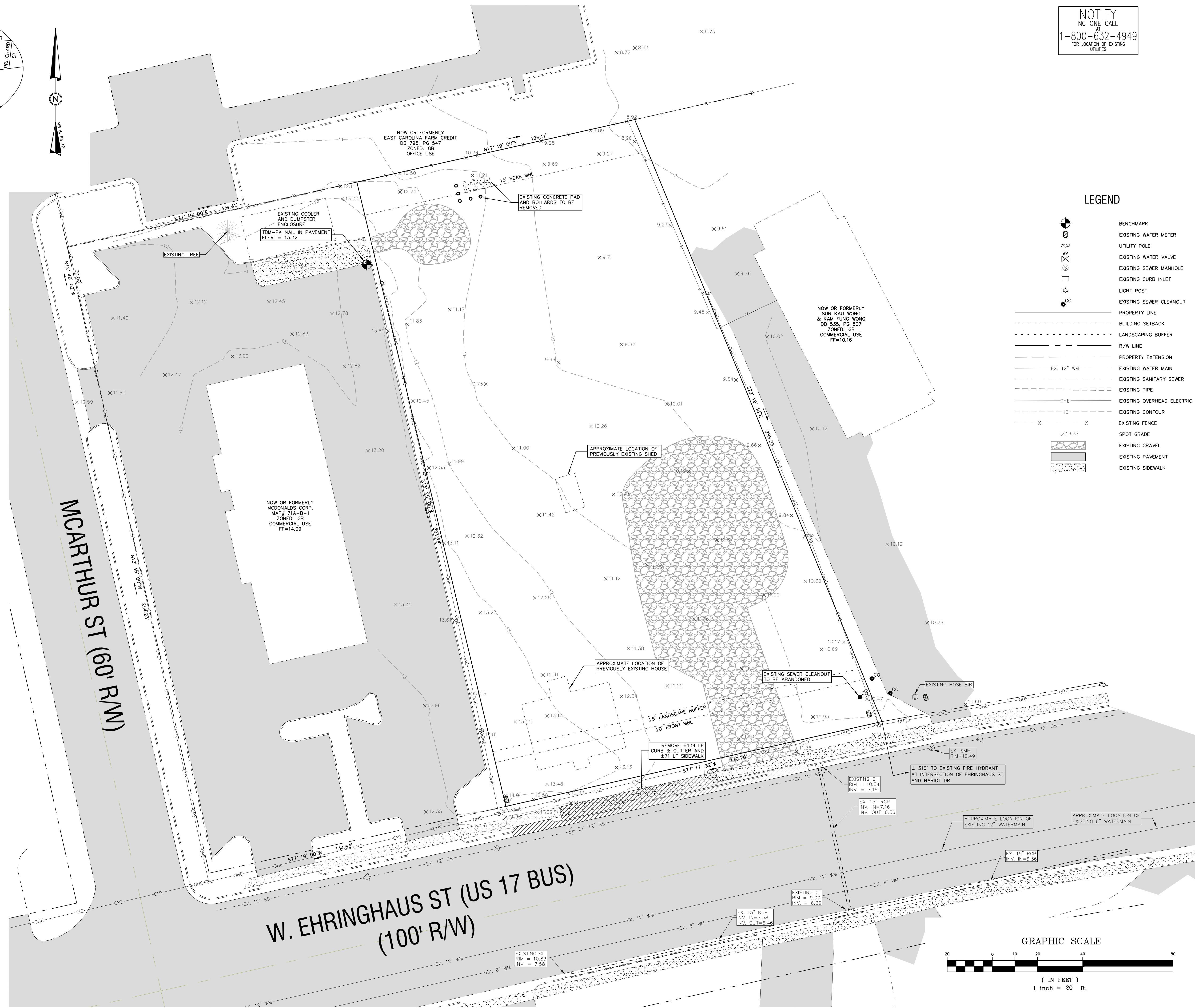
Drawn <b>COC</b>	<b>D1</b>
Project No. <b>TBD</b>	
Date <b>4/15/09</b>	
Scale <b>1" = 40'</b>	
Sheet 1 of 1	



VICINITY MAP  
NTS



- SITE NOTES:**
- OWNER/DEVELOPER:  
TANDEM, INC.  
202 WEST MAIN STREET  
ELIZABETH CITY, NC 27809-4327  
252-338-1793
  - SITE LOCATION: 1312 EHRINGHAUS STREET
  - PIN: 89130637 1575  
TAX MAP # 71A-B-6  
DB 341 PG 121, DB 1036 PG 202
  - SITE AREA: 0.97 ACRES (42,186 SF)  
ZONED: GB
  - EXISTING COVERAGE:  
ONSITE:  
EXISTING BUILDING = 1,431 SF 3.39%  
EXISTING GRAVEL = 7,763 SF 18.40%  
EXISTING OPEN SPACE = 39,992 SF 94.21%  
TOTAL COVERAGE = 42,186 SF 100.00%  
OFFSITE IMPERVIOUS = 815 SF  
TOTAL IMPERVIOUS: 10,009 SF
  - THE PROPERTY IS LOCATED IN FLOOD ZONE "X" ACCORDING TO FEMA MAP PANEL 372091300 J, DATED OCTOBER 5, 2004.
  - THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION WAS TAKEN FROM A RECOMBINATION SURVEY TITLED "RECOMBINATION SURVEY FOR TANDEM, INC" AS PREPARED BY HYMANROBEY.
  - THERE ARE NO WETLANDS ON THIS SITE.
  - ELEVATIONS ARE BASED ON NAVD 88 STATION "KING" ELEV. = 7.65

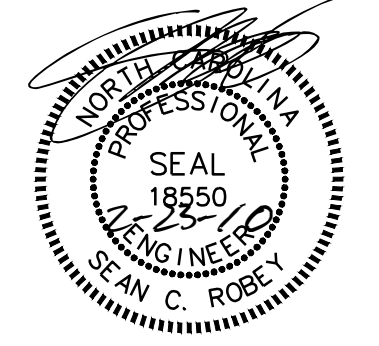


NOTIFY  
NC ONE CALL  
AT  
1-800-632-4949  
FOR LOCATION OF EXISTING UTILITIES

**LEGEND**

	BENCHMARK
	EXISTING WATER METER
	UTILITY POLE
	EXISTING WATER VALVE
	EXISTING SEWER MANHOLE
	EXISTING CURB INLET
	LIGHT POST
	EXISTING SEWER CLEANOUT
	PROPERTY LINE
	BUILDING SETBACK
	LANDSCAPING BUFFER
	R/W LINE
	PROPERTY EXTENSION
	EXISTING 12" WM
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING PIPE
	EXISTING OVERHEAD ELECTRIC
	EXISTING CONTOUR
	EXISTING FENCE
	SPOT GRADE
	EXISTING GRAVEL
	EXISTING PAVEMENT
	EXISTING SIDEWALK

**HYMAN ROBEY**  
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www.hymanroby.com



Tandem, Inc.  
Elizabeth City  
Pasquotank County  
North Carolina

**RELEASED FOR CONSTRUCTION**  
KEY PLAN:

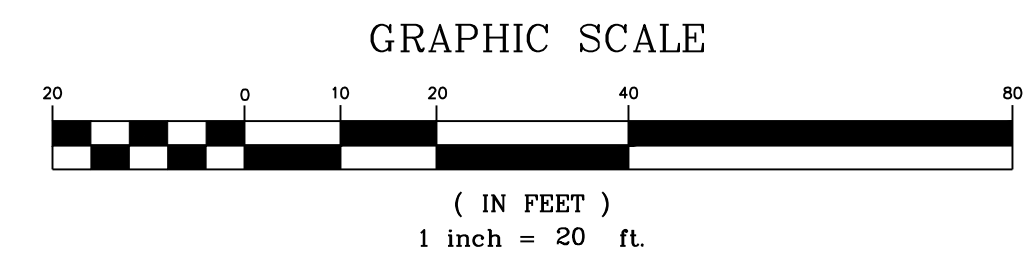
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Drawing #: 090120 - Site  
Drawn: BLR  
Checked: KDH  
Approved: SCR  
Date: 08/07/09  
Sheet #: 1/6  
Scale: 1:20

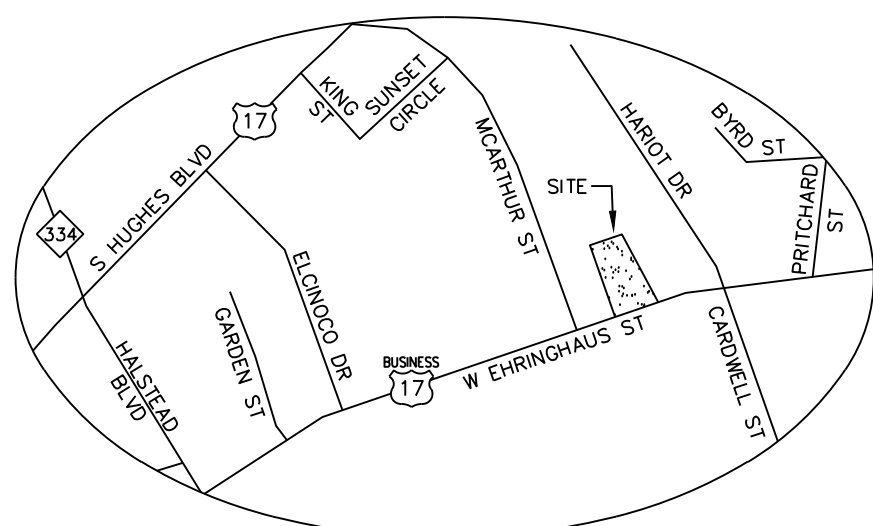
**REVISIONS:**

NUM.	DATE	DESCRIPTION
1	12-03-09	TRC & Removal of connecting drive
2	2-02-10	Per Planning
3	2-23-10	Released For Construction

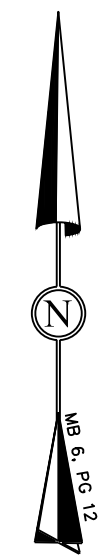
SHEET TITLE:  
**Existing Topo & Demo Plan**

SHEET NUMBER:  
**1**



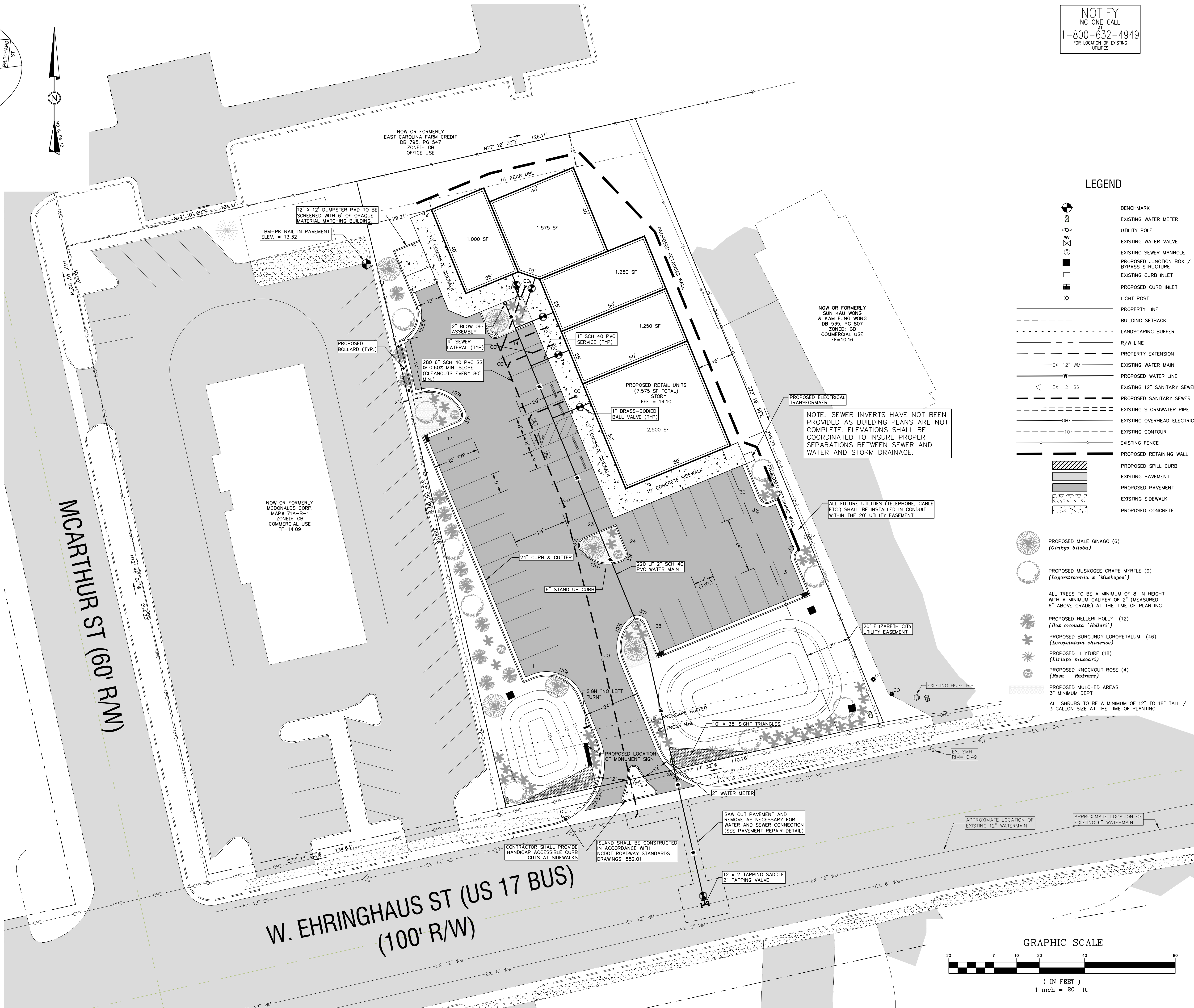


VICINITY MAP  
NTS



SITE NOTES:

- OWNER/DEVELOPER:  
TANDEM, INC.  
202 WEST MAIN STREET  
ELIZABETH CITY, NC 27909-4327  
252-338-1793
- SITE LOCATION: 1312 EHRINGHAUS STREET
- PIN: 89130637 1575  
TAX MAP # 71A-B-6  
DB 341 PG 121, DB 1036 PG 202
- SITE AREA: 0.97 ACRES (42,186 SF)  
ZONED: GB
- DISTURBED AREA FOR THIS DEVELOPMENT WILL NOT EXCEED 1.1 ACRES.
- EXISTING COVERAGE:  
ONSITE:  
EXISTING BUILDING = 1,431 SF 3.39%  
EXISTING GRAVEL = 7,763 SF 18.40%  
EXISTING OPEN SPACE = 32,992 SF 78.21%  
TOTAL COVERAGE = 42,186 SF 100.00%  
OFFSITE IMPERVIOUS = 815 SF  
TOTAL IMPERVIOUS: 10,009 SF  
PROPOSED COVERAGE:  
ONSITE:  
PROPOSED BUILDING = 7,575 SF 17.95%  
PROPOSED CONCRETE = 2,656 SF 6.30%  
PROPOSED ASPHALT = 15,775 SF 37.39%  
OPEN SPACE = 16,180 SF 38.36%  
TOTAL COVERAGE = 42,186 SF 100.00%  
OFFSITE IMPERVIOUS = 26,006 SF (61.65%)  
OFFSITE IMPERVIOUS = 668 SF  
TOTAL IMPERVIOUS = 26,674 SF
- PARKING SPACES REQUIRED: 38  
(1 SPACE PER 200 SF GROSS FLOOR AREA FOR RETAIL USE)  
= 38  
REGULAR PARKING SPACES PROVIDED: 36  
HANDICAPPED SPACES PROVIDED: 2  
PARKING SPACES PROVIDED = 36+2 = 38  
TOTAL SPACE COUNT (W/ISLANDS) = 38+4 = 42
- LANDSCAPING MUST BE INSTALLED AS SHOWN ON THIS PLAN. CHANGES MUST BE APPROVED BY THE ELIZABETH CITY PLANNING DEPARTMENT PRIOR TO INSTALLATION. ALL OPEN AREAS NOT PLANTED WITH TREES AND SHRUBS OR COVERED WITH MULCH SHALL BE PLANTED WITH GRASS.  
LANDSCAPING REQUIREMENTS:  
MAJOR THOROUGHFARE STREET BUFFER:  
1 CANOPY TREE, 10 SHRUBS FOR EVERY 50 FT  
170.76' FRONTAGE = 24' DRIVEWAY = 146.76'  
147' FRONTAGE = 3 CANOPY TREES, 30 SHRUBS  
PROVIDED: 3 CANOPY TREES, 40 SHRUBS  
(DUE TO EXISTING OVERHEAD UTILITIES, UNDERSTORY TREES ARE COUNTED AS CANOPY TOWARD FRONT BUFFER)  
PARKING LOT = LANDSCAPE ISLANDS:  
1 ISLAND, 1 CANOPY TREE FOR EVERY 10 SPACES  
36 SPACES = 3.6 ISLANDS, 3.6 CANOPY TREES  
PROVIDED: 4 ISLANDS, 4 CANOPY TREES  
(1 OF 4 TREES ARE UNDERSTORY DUE TO PROXIMITY TO OVERHEAD POWER LINES)  
PARKING LOT = VEHICULAR SURFACE AREA:  
1 CANOPY TREE EVERY 2,000 SF, 1 SHRUB EVERY 500 SF  
15,519 SF VSA = 7.80 CANOPY TREES, 31 SHRUBS  
PROVIDED: 8 CANOPY TREES, 33 SHRUBS  
(5 OF 8 TREES ARE UNDERSTORY DUE TO PROXIMITY TO OVERHEAD POWER LINES)
- THE PROPERTY IS LOCATED IN FLOOD ZONE "X" ACCORDING TO FEMA MAP PANEL, 3720891300 J, DATED OCTOBER 5, 2004.
- THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION WAS TAKEN FROM A RECOMBINATION SURVEY TITLED "RECOMBINATION SURVEY FOR TANDEM, INC." AS PREPARED BY HYMANROBEY.
- THERE ARE NO WETLANDS ON THIS SITE.
- ELEVATIONS ARE BASED ON NAVD 88 STATION "KING" ELEV. = 7.65
- ALL UTILITY CONNECTIONS SHALL CONFORM TO THE CITY OF ELIZABETH CITY STANDARDS AND SHALL BE COORDINATED WITH THE CITY OF ELIZABETH CITY PUBLIC WORKS DEPARTMENT. EXISTING UTILITY CONNECTIONS SHALL BE UTILIZED.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- ANY FUTURE SIGNS SHALL REQUIRE APPROPRIATE PERMITS.
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- DUMPSTER PADS SHALL BE SCREENED WITH 6' HIGH OPAQUE WALL, ARCHITECTURALLY COMPATIBLE WITH THE BUILDING. SEE SHEET 5. DECORATIVE WALL AND GATE MAY HAVE TO EXCEED 6' TO ACCOMMODATE DUMPSTER HEIGHT AND LID.
- CONTRACTOR SHALL NET TAP EXISTING 12" WATER MAIN IN THE PRESENCE OF THE ENGINEER AND A REPRESENTATIVE OF THE ELIZABETH CITY PUBLIC WORKS DEPARTMENT. CONTACT ELIZABETH CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO CONSTRUCTION TO COORDINATE INSPECTION.
- DRAINAGE/UTILITY EASEMENTS SHALL REMAIN FREE OF SUBSTANTIAL STRUCTURES AND BE REPAIRED TO ANY STRUCTURE OR LANDSCAPING IN THE EASEMENT FOLLOWING ACCESS TO FACILITIES BY THE CITY OR UTILITY COMPANY SHALL BE AT THE EXPENSE OF THE OWNER.
- SITE LIGHTING WILL BE PROVIDED BY FLOOD LIGHTS LOCATED ON ALL BUILDING CORNERS. ADDITIONAL DECORATIVE LIGHTING WILL BE PROVIDED AT EACH DOOR. SEE BUILDING PLANS.
- DUE TO EXISTING OVERHEAD UTILITIES, CRAPE MYRTLES HAVE EACH BEEN COUNTED AS ONE-HALF CANOPY TREE FOR THE PURPOSES OF REQUIRED PARKING LOT LANDSCAPING.



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Tandem, Inc.  
Elizabeth City  
Pasquotank County  
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LEGEND

- BENCHMARK
- EXISTING WATER METER
- UTILITY POLE
- EXISTING WATER VALVE
- EXISTING SEWER MANHOLE
- PROPOSED JUNCTION BOX / BYPASS STRUCTURE
- EXISTING CURB INLET
- PROPOSED CURB INLET
- LIGHT POST
- PROPERTY LINE
- BUILDING SETBACK
- LANDSCAPING BUFFER
- R/W LINE
- PROPERTY EXTENSION
- EX. 12" WM
- PROPOSED WATER LINE
- EX. 12" SS
- PROPOSED SANITARY SEWER
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- EXISTING OVERHEAD ELECTRIC
- EXISTING CONTOUR
- EXISTING FENCE
- PROPOSED RETAINING WALL
- PROPOSED SPILL CURB
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING SIDEWALK
- PROPOSED CONCRETE

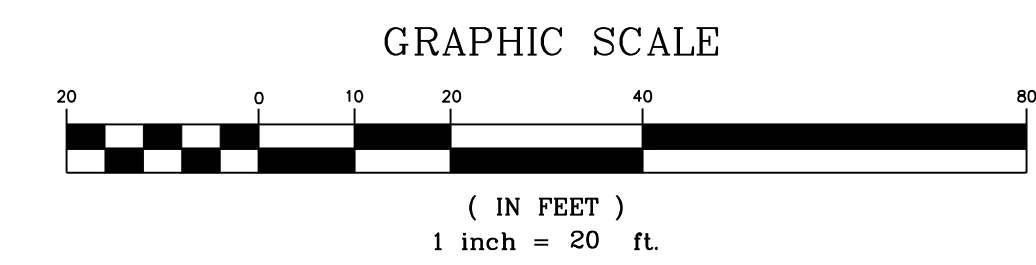
- PROPOSED MALE GINKGO (6)  
(*Ginkgo biloba*)
- PROPOSED MUSKOGEE GRAPE MYRTLE (9)  
(*Lagerstroemia x 'Muskogee'*)
- ALL TREES TO BE A MINIMUM OF 8' IN HEIGHT WITH A MINIMUM CALIPER OF 2" (MEASURED 6" ABOVE GRADE) AT THE TIME OF PLANTING
- PROPOSED HELLIERY HOLLY (12)  
(*Ilex crenata 'Helliery'*)
- PROPOSED BURGUNDY LOROPETALUM (46)  
(*Loropetalum chinense*)
- PROPOSED LILYTURF (18)  
(*Liriope muscari*)
- PROPOSED KNOCKOUT ROSE (4)  
(*Rosa - Radrazz*)
- PROPOSED MULCHED AREAS  
3" MINIMUM DEPTH
- ALL SHRUBS TO BE A MINIMUM OF 12" TO 18" TALL / 3 GALLON SIZE AT THE TIME OF PLANTING

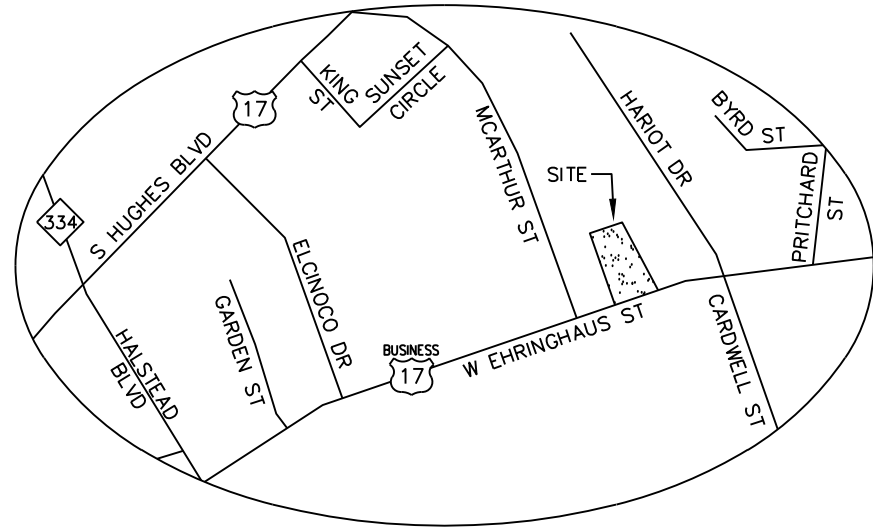
RELEASED FOR CONSTRUCTION  
KEY PLAN:

Project #: 090120  
Drawing #: 090120 - Site  
Drawn: BLR  
Checked: KDH  
Approved: SCR  
Date: 08/07/09  
Sheet #: 2/6  
Scale: 1:20

REVISIONS:	NUM.	DATE	DESCRIPTION
1	12-03-09		TRC & Removal of connecting drive
2	2-02-10		Per Planning and NCDOT
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SHEET TITLE:  
**Site & Utility Plan**  
SHEET NUMBER:  
**2**





VICINITY MAP  
NTS



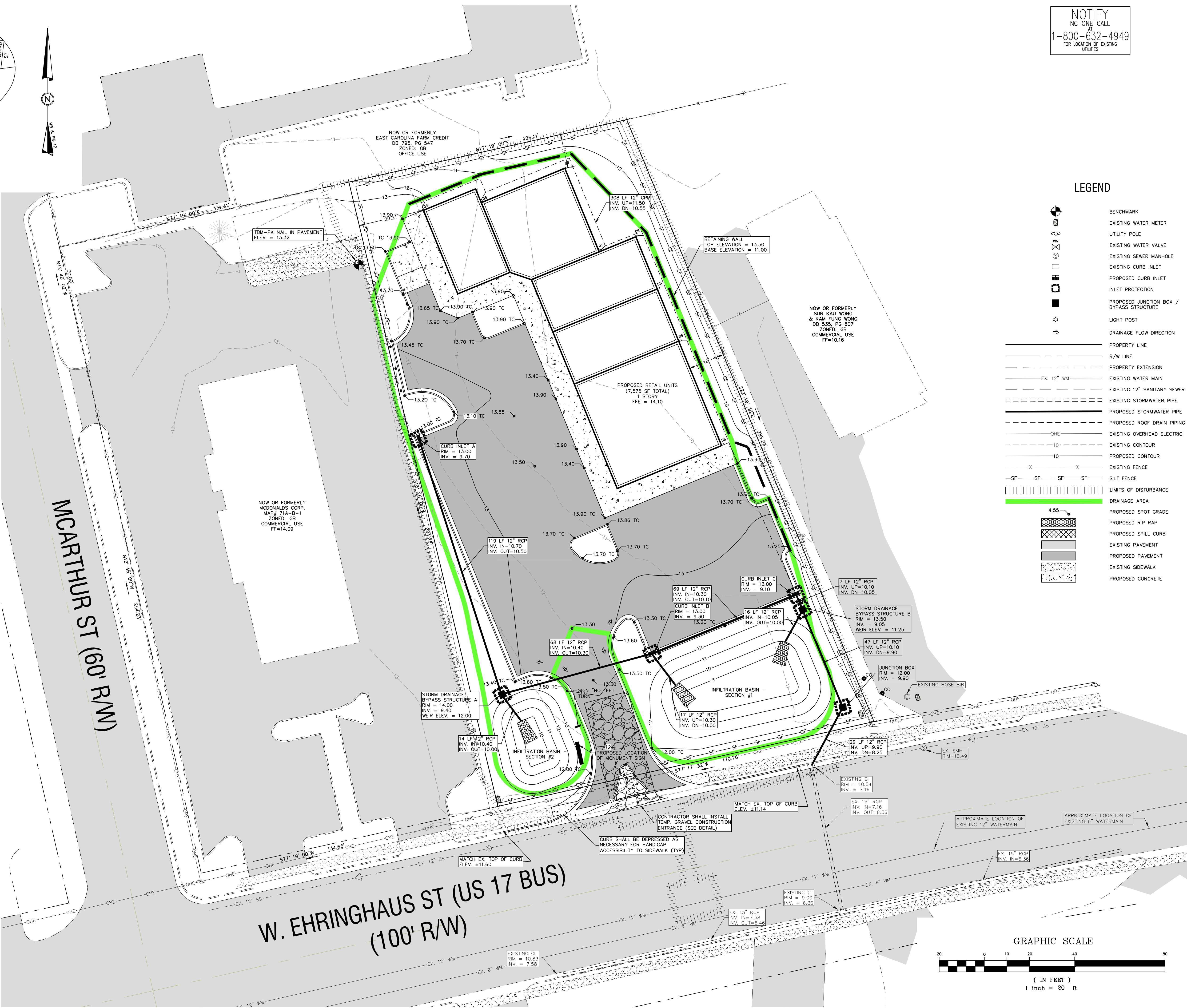
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- OWNER/DEVELOPER: TANDEM, INC. 202 WEST MAIN STREET, ELIZABETH CITY, NC 27909-4327 252-338-1793
  - SITE LOCATION: 1312 EHRINGHAUS STREET
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  - SITE AREA: 0.97 ACRES (42,186 SF) ZONED: GB
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  - EXISTING COVERAGE:
 

EXISTING BUILDING	=	1,431 SF	3.39%
EXISTING GRAVEL	=	7,763 SF	18.40%
EXISTING OPEN SPACE	=	32,992 SF	78.21%
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  - SITE LIGHTING WILL BE PROVIDED BY FLOOD LIGHTS LOCATED ON ALL BUILDING CORNERS. ADDITIONAL DECORATIVE LIGHTING WILL BE PROVIDED AT EACH DOOR. SEE BUILDING PLANS.
  - ANY FILL BROUGHT ONSITE SHALL BE FROM AN APPROVED SITE/MINE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A SINGLE APPROVED LOCATION.

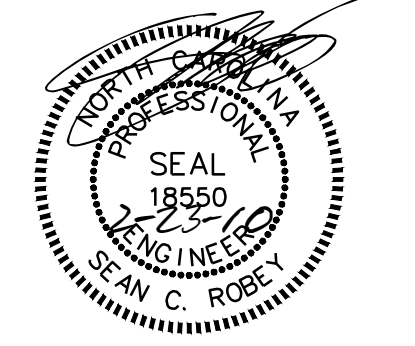


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- PROPOSED JUNCTION BOX / BYPASS STRUCTURE
- LIGHT POST
- DRAINAGE FLOW DIRECTION
- PROPERTY LINE
- R/W LINE
- PROPERTY EXTENSION
- EX. 12" WM
- EXISTING 12" SANITARY SEWER
- EXISTING STORMWATER PIPE
- PROPOSED STORMWATER PIPE
- PROPOSED ROOF DRAIN PIPING
- EXISTING OVERHEAD ELECTRIC
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING FENCE
- SILT FENCE
- LIMITS OF DISTURBANCE
- DRAINAGE AREA
- PROPOSED SPOT GRADE
- PROPOSED RIP RAP
- PROPOSED SPILL CURB
- EXISTING PAVEMENT
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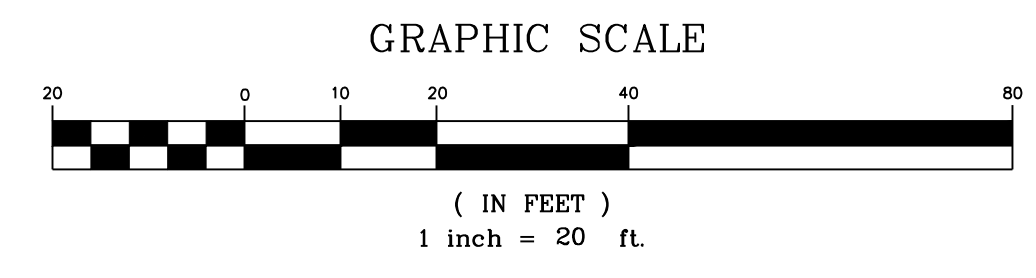
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SHEET TITLE:  
**Grading & Erosion Control**

SHEET NUMBER:  
**3**



- INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PADS. (SEE DETAIL)
- INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS TO PREVENT OFF-SITE SEDIMENTATION.
- FILL THE SITE AND INSTALL STORM DRAINAGE PIPING. INSTALL TEMPORARY PLUGS IN PIPES THAT DISCHARGE TO INFILTRATION BASIN.
- INSTALL THE REMAINING SEDIMENT AND EROSION CONTROL PROTECTION.
- INSTALL THE STONE BASE AND ASPHALT FOR THE PROPOSED PARKING LOT.
- CONSTRUCT INFILTRATION BASIN.
- PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- REMOVE SEDIMENT FROM CURB INLETS AND REMOVE TEMPORARY PLUGS FROM PIPES TO INFILTRATION BASIN. SEDIMENT SHALL NOT BE REMOVED BY FLUSHING PIPES SUCH THAT SEDIMENT WILL ENTER THE OFF-SITE DRAINAGE SYSTEM OR THE INFILTRATION BASIN.
- MONITOR AND MAINTAIN THE INSTALLED EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
- ONCE VEGETATION IS ESTABLISHED, REMOVE THE CONTROL DEVICES.

## CONSTRUCTION SEQUENCING

### SEEDBED PREPARATION

THE CONTRACTOR SHALL CUT AND DISPOSE OF WEEDS OR OTHER UNACCEPTABLE GROWTH ON THE AREAS TO BE SEED. UNEVEN OR ROUGH AREAS SHALL BE SHAPED AND SMOOTHED TO PROVIDE FOR EFFECTIVE SEEDING AND EASE OF MOWING. THE SOIL SHALL BE SCARIFIED TO A DEPTH OF NOT LESS THAN 5 INCHES. CLODS SHALL BE BROKEN AND THE TOP 3-4 INCHES OF THE SOIL SHALL BE WORKED INTO A SEEDBED BY THE USE OF PULVERIZERS, DRAGS, OR HARROWS. THE PREPARATION OF SEEDBEDS SHALL NOT BE DONE WHEN THE SOIL IS FROZEN OR EXTREMELY WET.

### SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

### MULCHING

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, RIVETS, OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCHING TOOL.

### MAINTENANCE

IF GROWTH IS LESS THAN FULLY ADEQUATE, REFERTILIZE IN THE SECOND YEAR, ACCORDING TO SOIL TESTS OR TOPDRESS WITH 500 LB/ACRE 10-10-10 FERTILIZER. MOW AS NEEDED WHEN SERICEA IS OMITTED FROM THE MIXTURE. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

## SEEDING & MULCHING

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF NATURAL RESOURCES AND COMMUNITY DEVELOPMENT. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED ON ALL AREAS OF THE SITE WHICH ARE DISTURBED OR GRADED. CONTRACTOR SHALL PROVIDE GROUND COVERS (SEE SCHEDULE BELOW) WITHIN 30 CALENDAR DAYS AFTER COMPLETION OF CONSTRUCTION WITHIN THE SPECIFIC AREAS. THE CONTROL MEASURES SHALL BEGAIN PRIOR TO ANY LAND DISTURBING ACTIVITY INCLUDING CLEARING, SHALL CONTINUE DURING THE CONSTRUCTION AND SHALL CONTINUE WITH THE NECESSARY MAINTENANCE UNTIL THE DISTURBED LAND IS STABILIZED. COMPLIANCE WITH LOCAL AND/OR STATE SOIL EROSION AND SEDIMENTATION CONTROL LAWS SHALL BE THE ENTIRE RESPONSIBILITY OF THE CONTRACTOR. THIS PARAGRAPH IS INTENDED TO SERVE ONLY AS A GUIDE TO THE CONTRACTOR FOR COMPLIANCE WITH SUCH LAWS. ORDERS, RULES AND REGULATIONS CONCERNING EROSION AND SEDIMENTATION CONTROL PROTECTION OF EXISTING STRUCTURES AND FACILITIES FROM SEDIMENTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ITEMS TO BE PROTECTED SHALL INCLUDE, BUT ARE NOT LIMITED TO CATCH BASINS, NATURAL WATERWAYS, DRAINAGE DITCHES, WALKS, DRIVES, ROADS, LAWNS, AND STREAMS.

## EROSION CONTROL MEASURES

### SEEDING MIXTURE RATE (LB/ACRE)

SEEDING MIXTURE	RATE (LB/ACRE)
TALL FESCUE	80
PENSACOLA BAHIAGRASS	50
SERICEA LESPEDEZA	30
KOBE LESPEDEZA	10

### SEEDING NOTES

- FROM SEPT. 1 - MAR. 1, USE UNSCARIFIED SERICEA SEED
- ON POORLY DRAINED SITES, OMIT SERICEA AND INCREASE KOBE TO 30 LB/ACRE.
- WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE TO 40 LB/ACRE.

### NURSE PLANTS

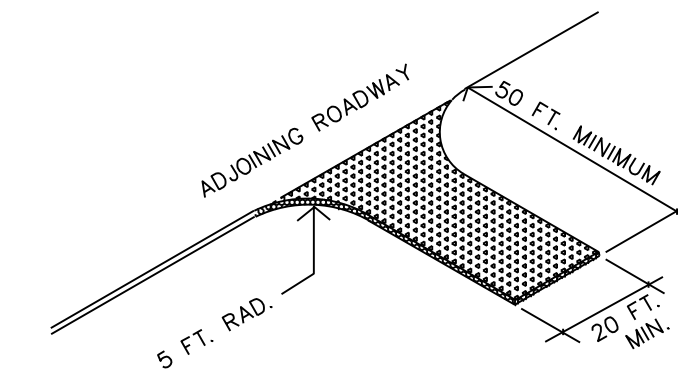
BETWEEN APRIL 15 AND AUG. 15, ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUG. 15, ADD 25 LB/ACRE RYE (GRAIN).

### SEEDING DATES

	BEST	POSSIBLE
EARLY SPRING:	FEB. 15 - MAR. 20	FEB. 15 - APR. 30
FALL:	SEPT. 1 - SEPT. 30	SEPT. 1 - OCT. 31

## SEEDING SCHEDULE

- NC DOT #5 OR #57 WASHED STONE SHALL BE USED. PAD TO BE 50' X 20' X 6" DEPTH MIN.
- TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS TO BE PROVIDED.
- ENTRANCE(S) SHALL BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
- PAD MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE WILL BE NECESSARY.
- ANY MATERIAL WHICH IS TRACKED ON ADJACENT ROAD SHALL BE REMOVED IMMEDIATELY.

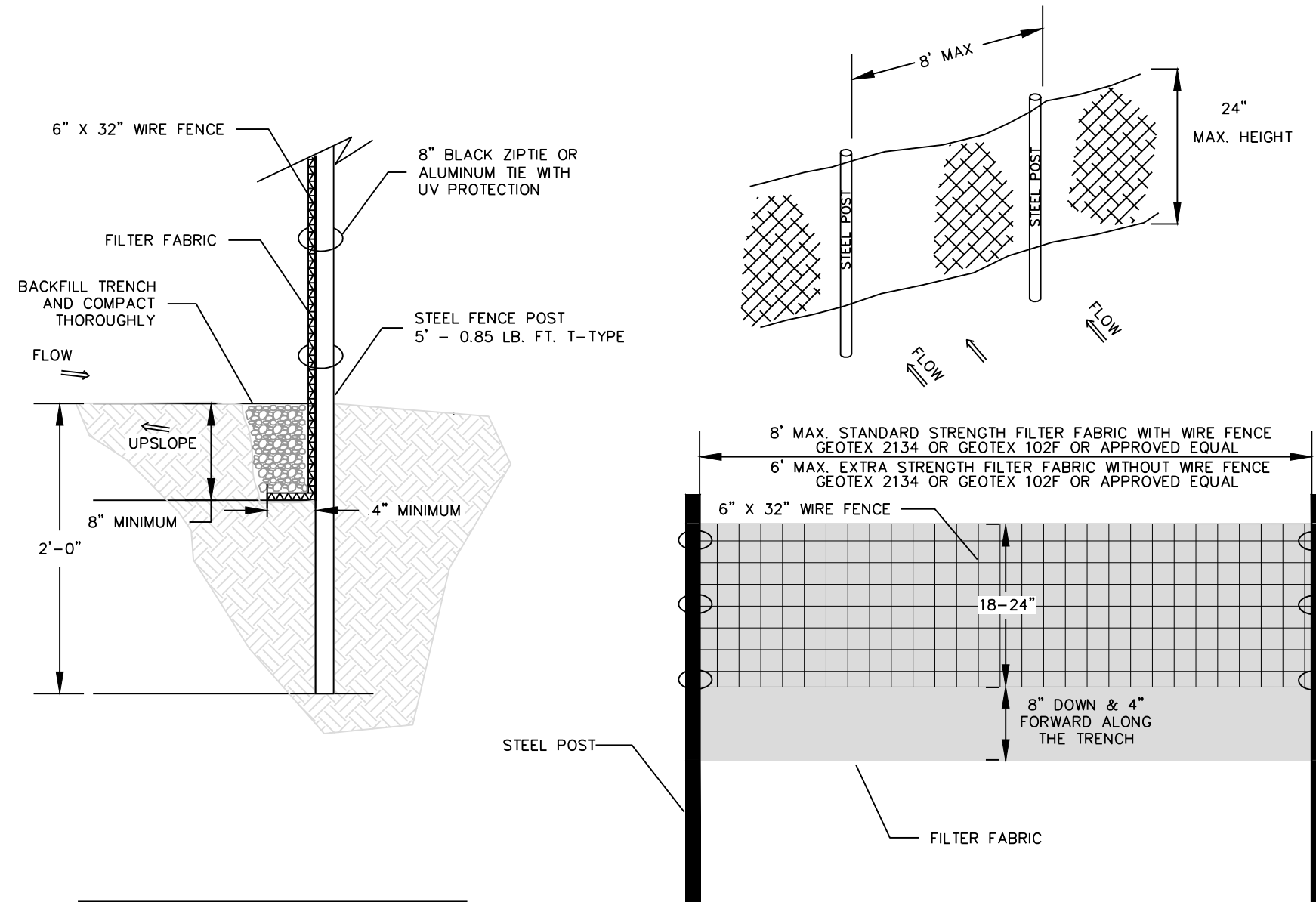


## TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NTS

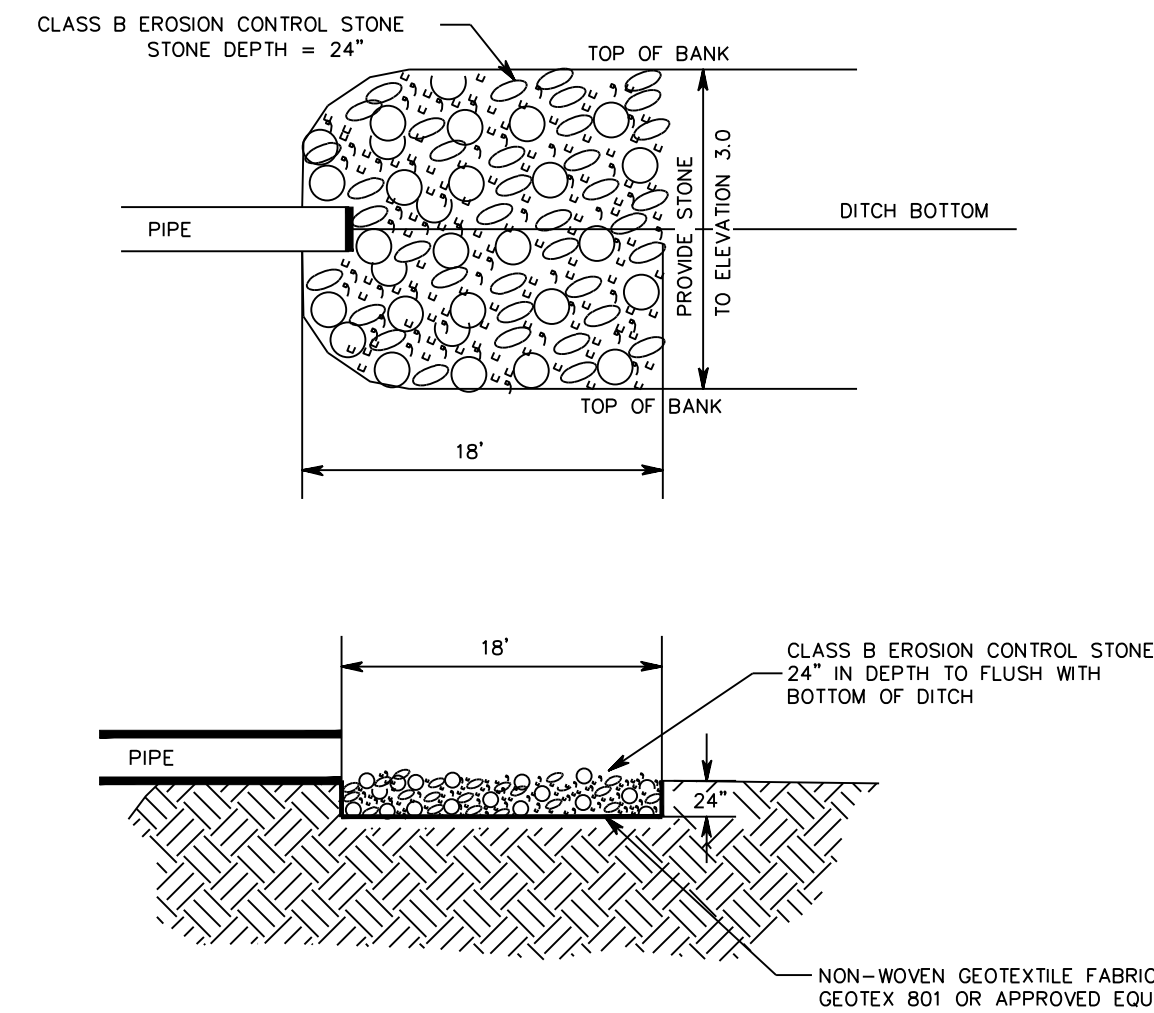
### CONSTRUCTION

- CONSTRUCT THE SEDIMENT BARRIER OF STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS.
- ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE. (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.)
- CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN THE JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A SUPPORT POST WITH A 4 FEET MINIMUM OVERLAP TO THE NEXT POST.
- SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN THE FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH.
- WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAXIMUM OF 8 FEET APART. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.
- EXTRA STRENGTH FILTER FABRIC WITH 6 FEET POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUND TENSILE STRENGTH AND A 6 MONTH UV PROTECTION RATING.
- EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- PLACE 12 INCHES OF THE FABRIC ALONG THE BOTTOM SIDE OF THE TRENCH.
- BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT. THOROUGH COMPACTION OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.
- DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.



## SILT FENCE DETAIL

NTS

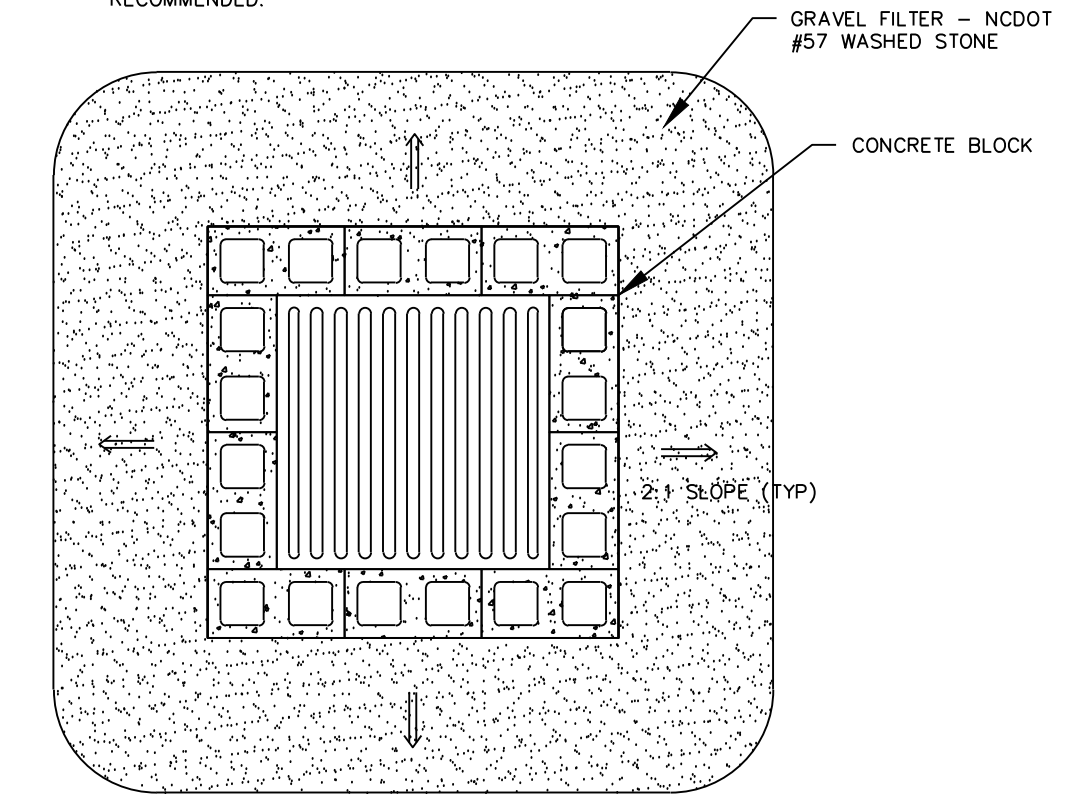


## ROCK ENERGY DISSIPATER

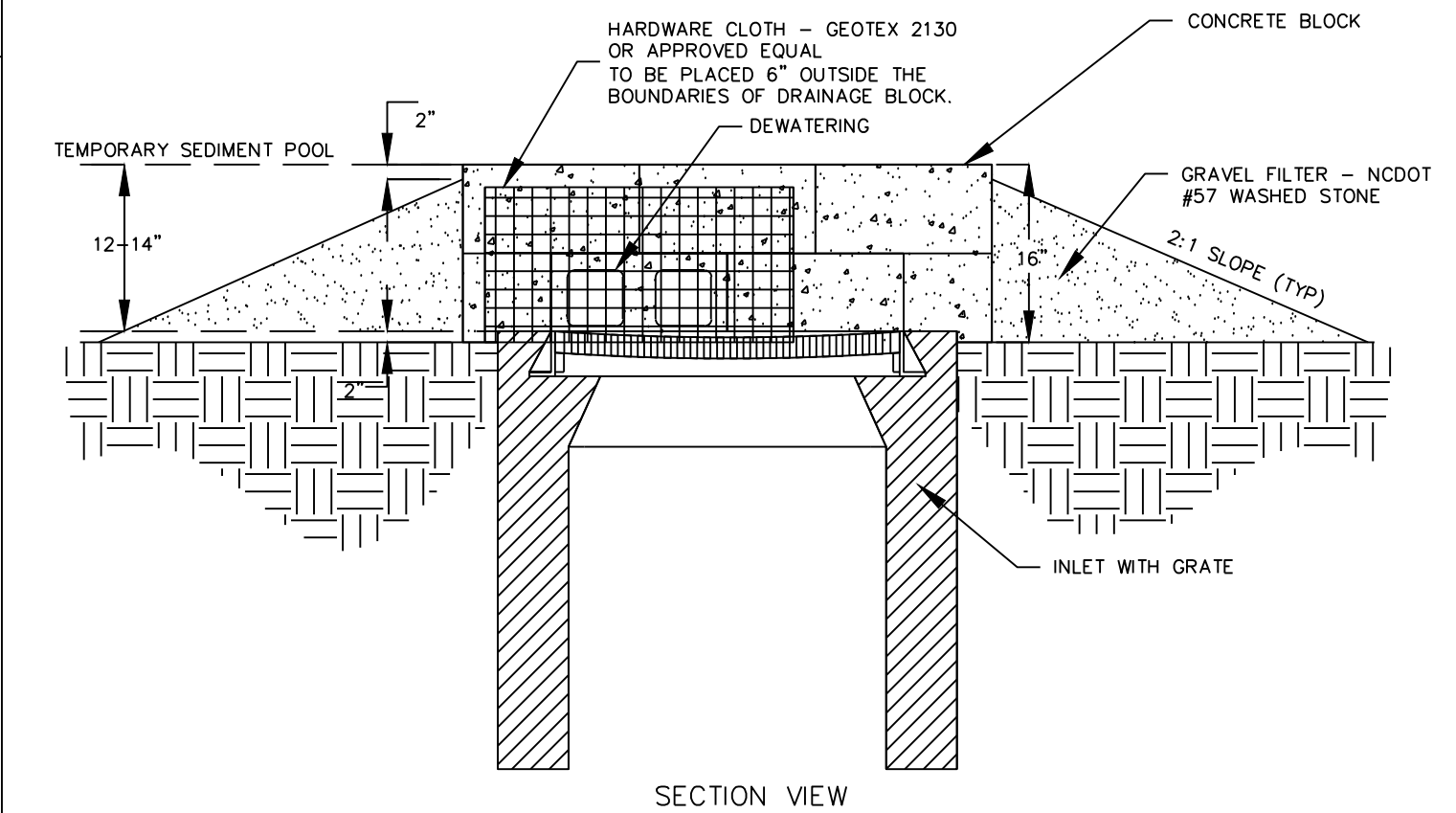
NTS

### CONSTRUCTION SPECIFICATIONS:

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE BLOCK FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. PLACE THE BOTTOM ROW OF BLOCKS AGAINST THE EDGE OF THE STORM DRAIN FOR LATERAL SUPPORT AND TO AVOID WASHOUTS WHEN OVERFLOW OCCURS. IF NEEDED, GIVE LATERAL SUPPORT TO SUBSEQUENT ROWS BY PLACING 2 X 4 WOOD STUDS THROUGH BLOCK OPENINGS.
- CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE.
- USE CLEAN GRAVEL, 3/4- TO 1 1/2-INCH IN DIAMETER, PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER AND SMOOTH IT TO AN EVEN GRADE. NC DOT #57 WASHED STONE IS RECOMMENDED.



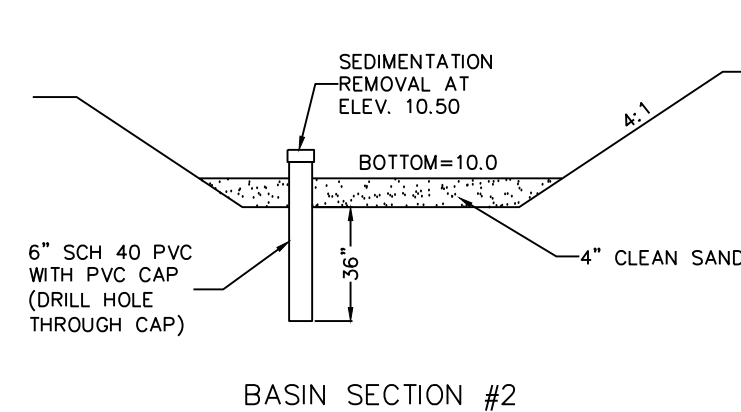
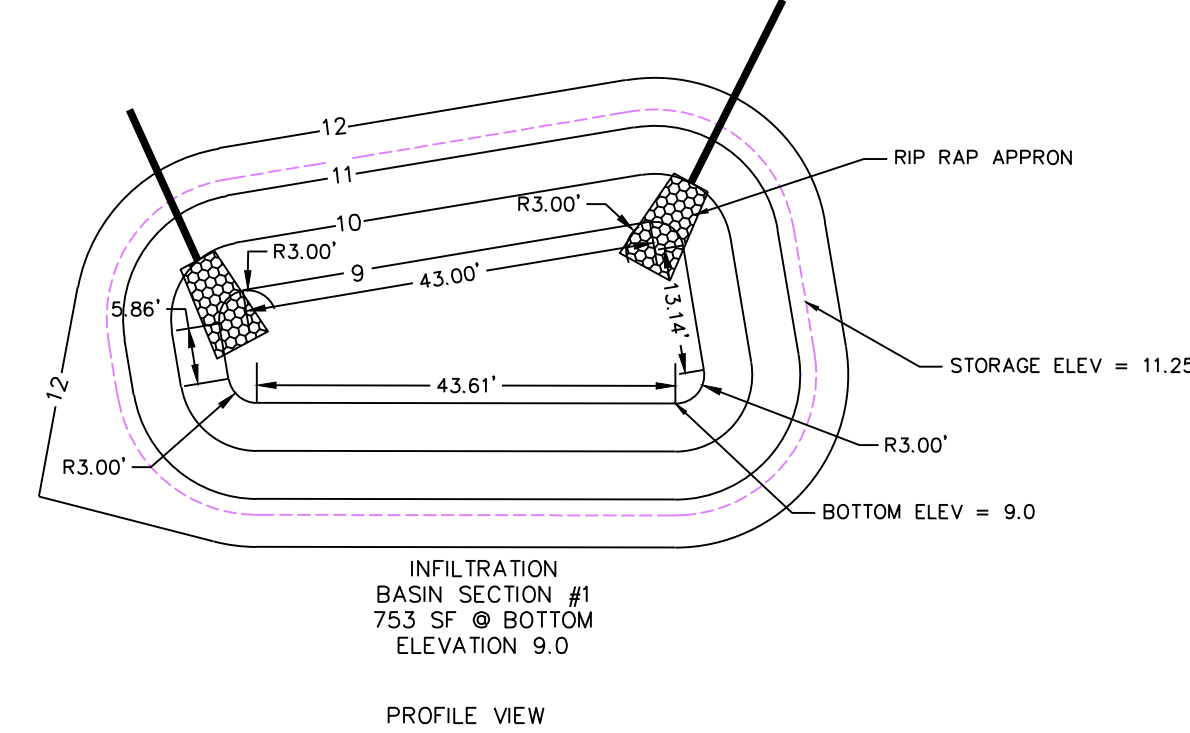
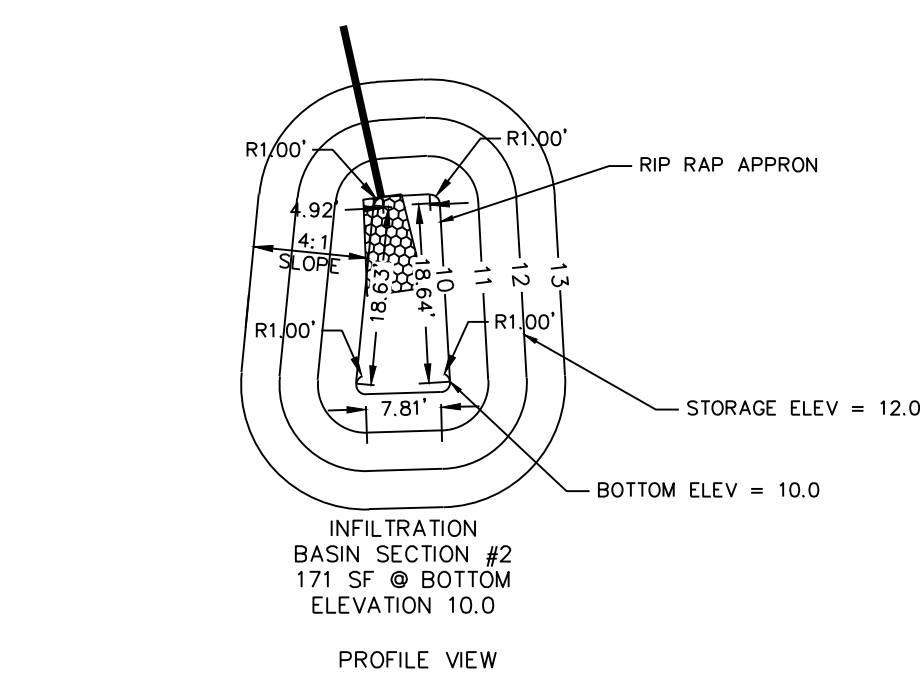
### PLAN VIEW



### SECTION VIEW

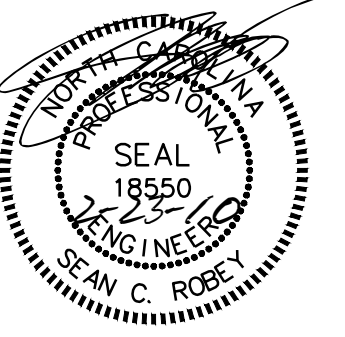
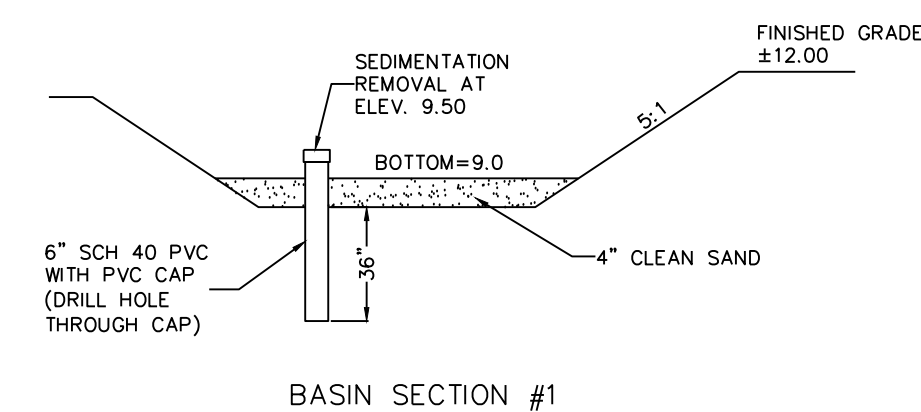
## BLOCK AND GRAVEL INLET PROTECTION

NTS



## INFILTRATION BASIN DETAIL

NTS



Tandem, Inc.

Elizabeth City

Pasquotank County

North Carolina

**RELEASED FOR CONSTRUCTION**  
KEY PLAN:

Project #: 090120  
Drawing #: 090120 Details  
Drawn: BLR  
Checked: KDH  
Approved: SCR  
Date: 08/07/09  
Sheet #: 4/6  
Scale: 1:20

REVISIONS:  
NUM. DATE DESCRIPTION  
1 12-03-09 TRC & Removal of connecting drive  
2 2-23-10 Released For Construction

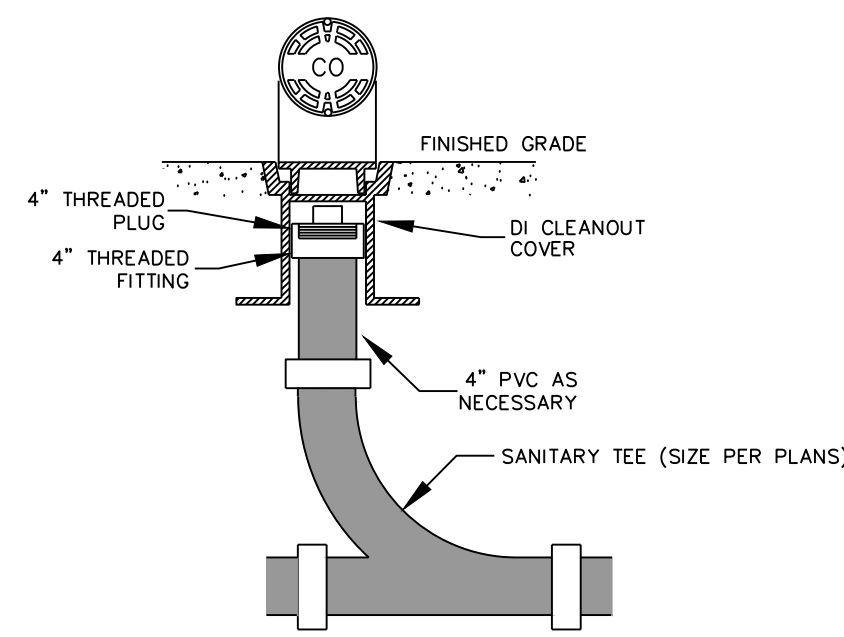
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**Details**

SHEET NUMBER:

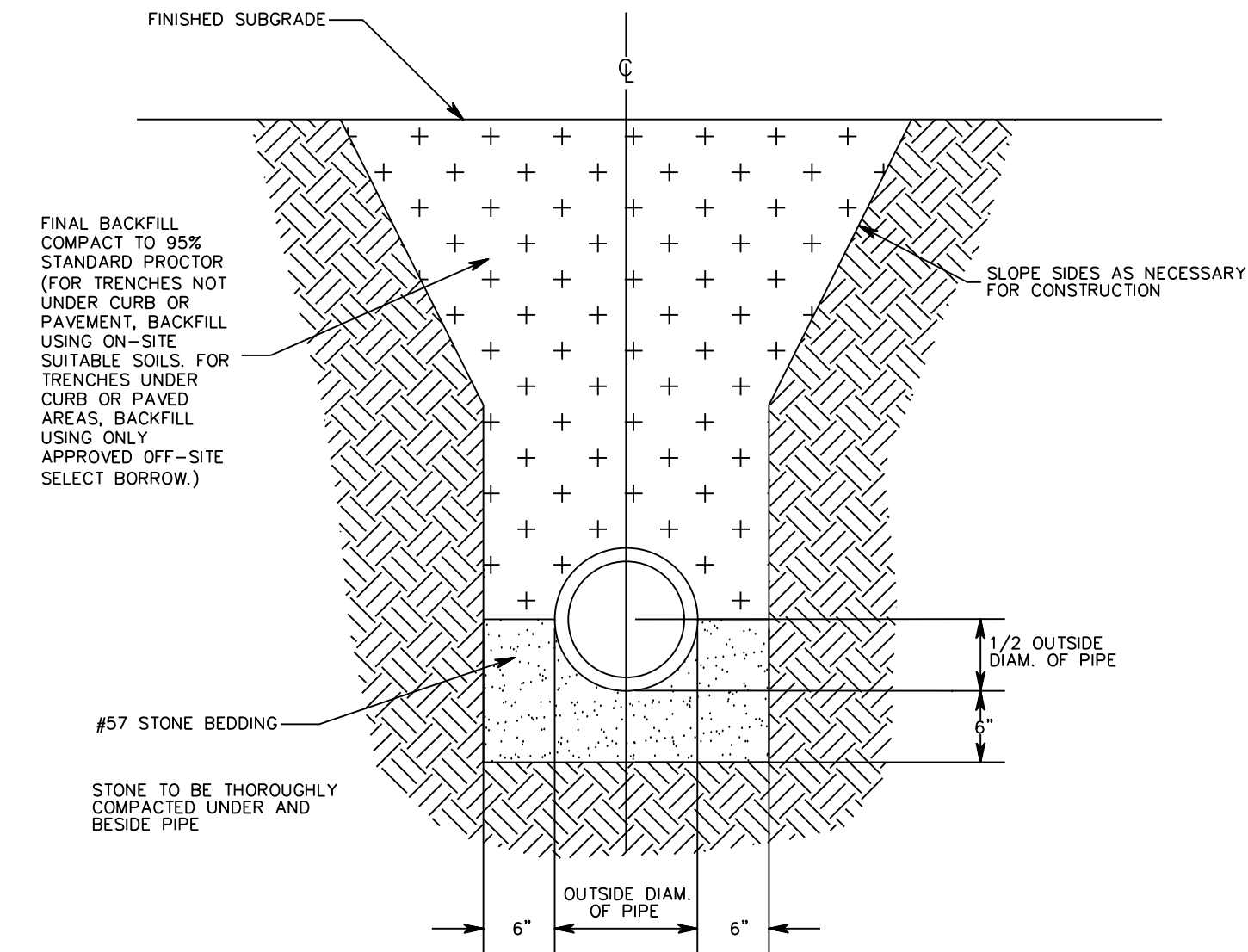
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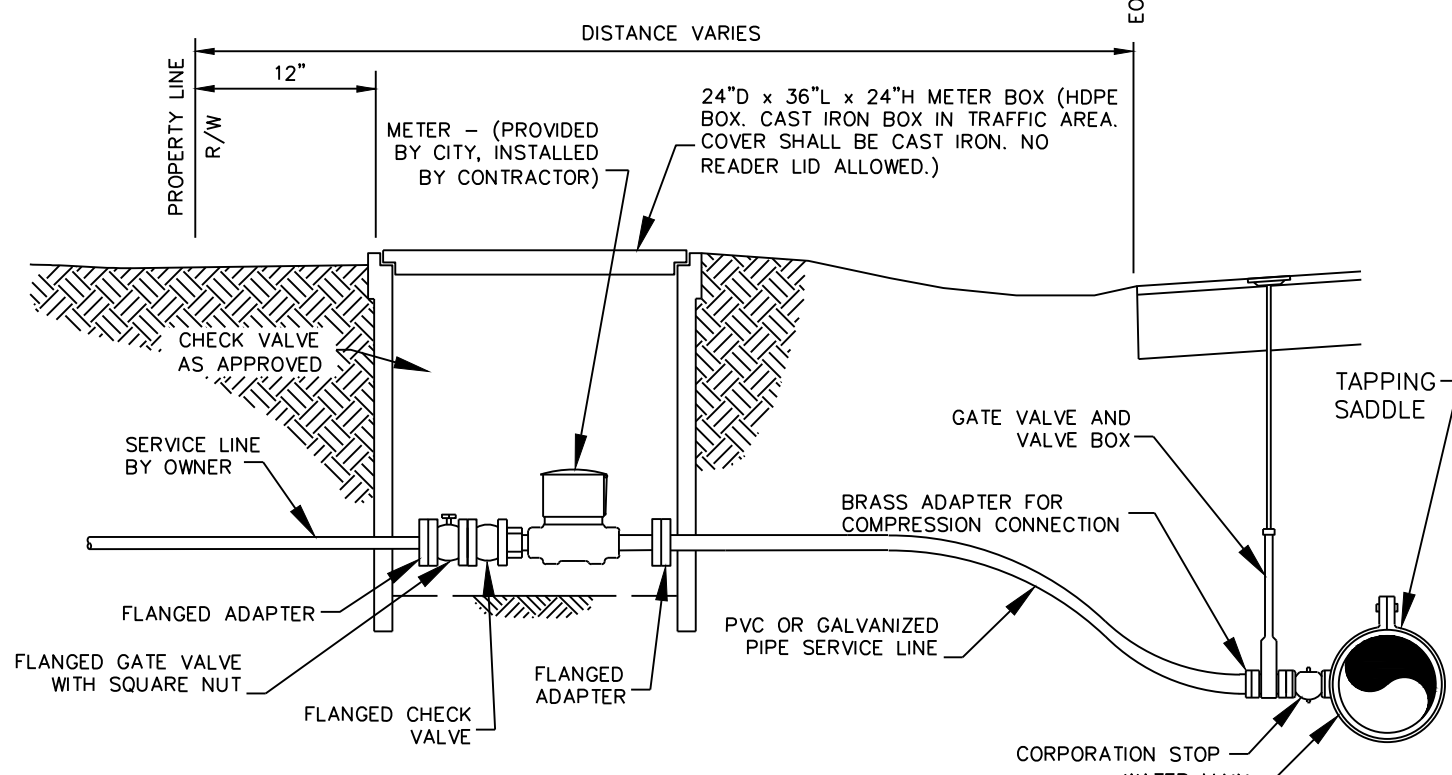
**Tandem, Inc.**  
 Elizabeth City  
 Pasquotank County  
 North Carolina



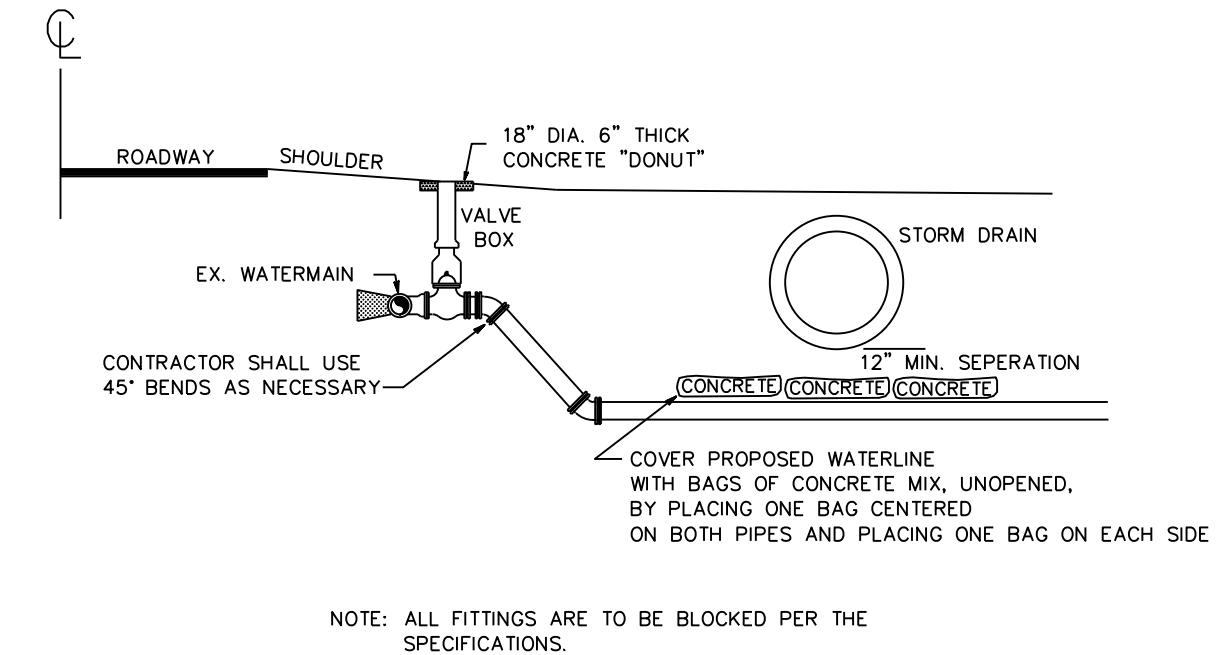
**SANITARY SEWER CLEAN-OUT**  
 NTS



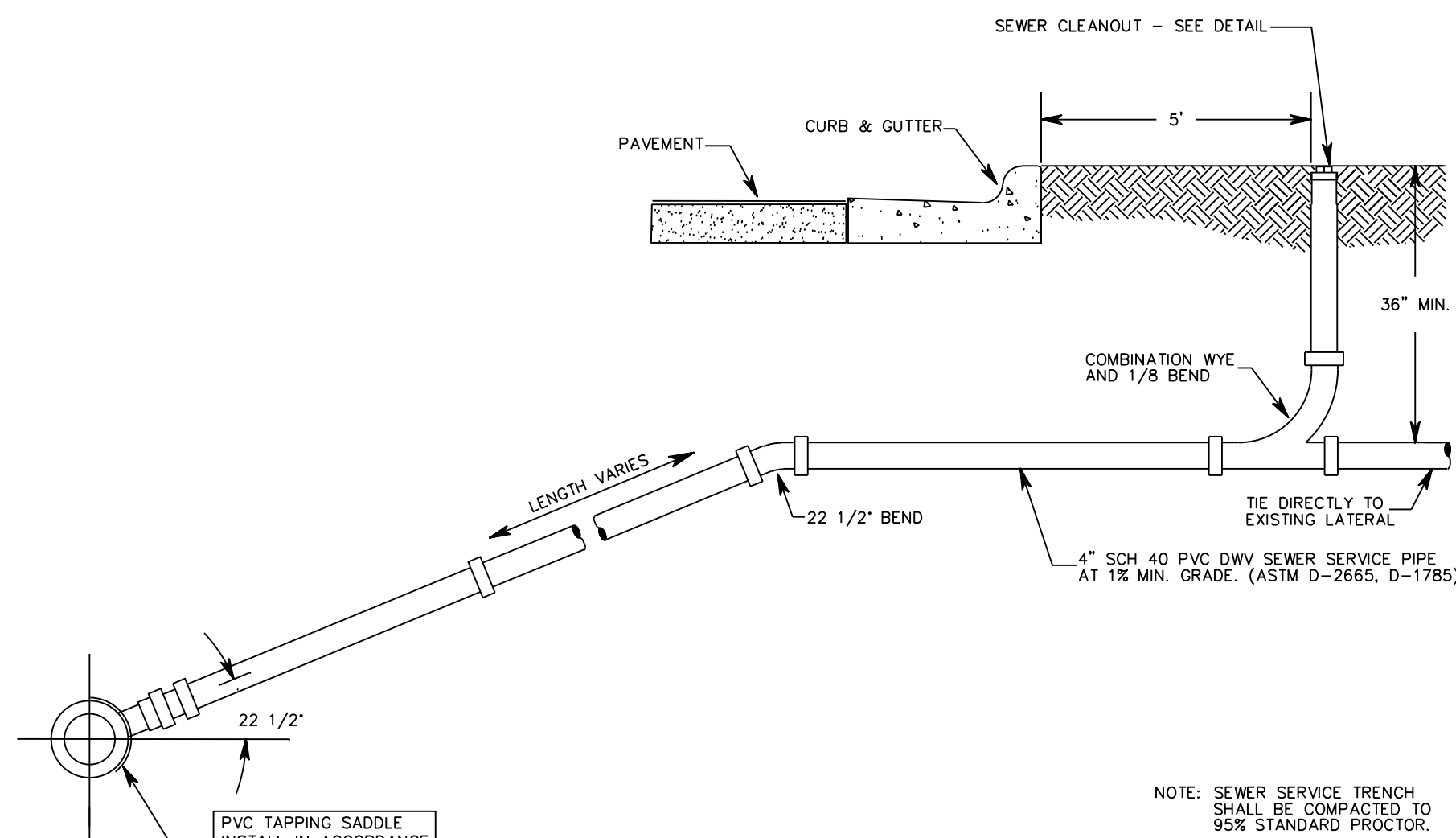
**TYPICAL SANITARY SEWER MAIN TRENCH**  
 NTS



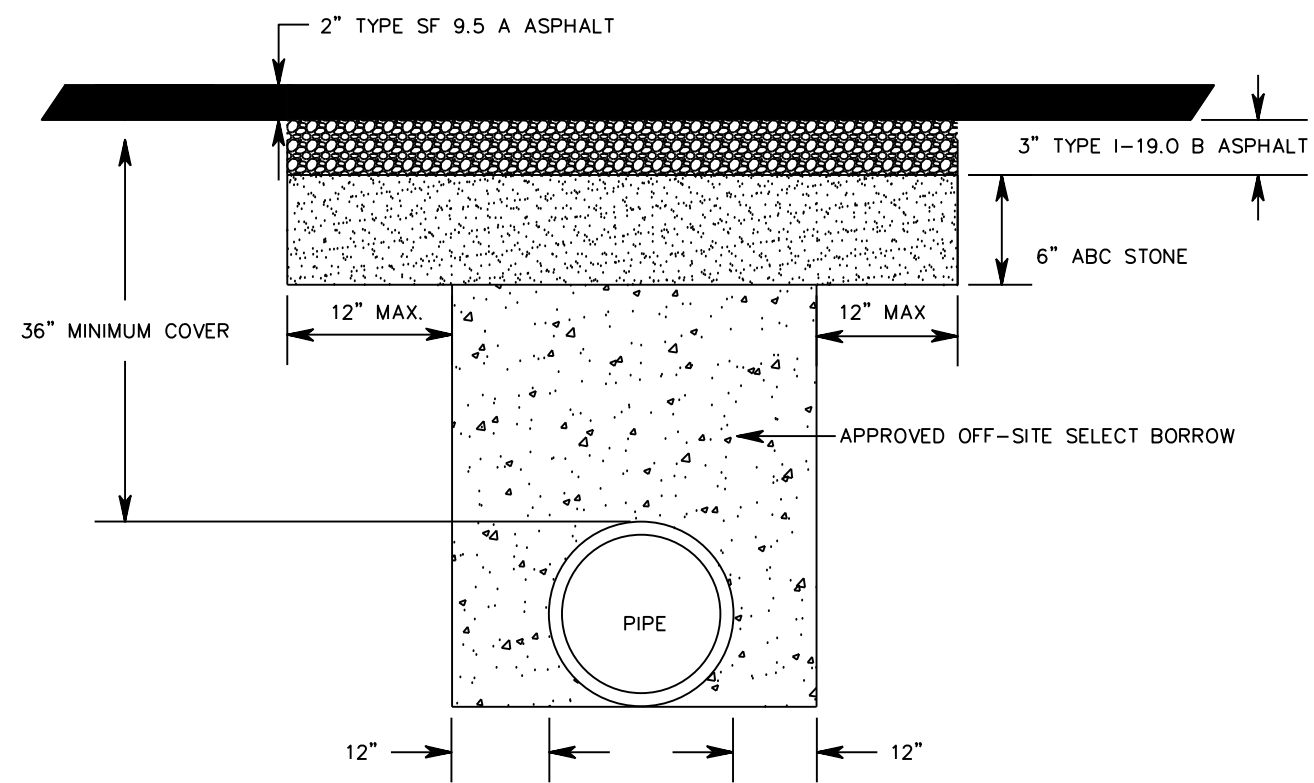
**2" TO 3" WATER SERVICE CONNECTION DETAIL**  
 NTS



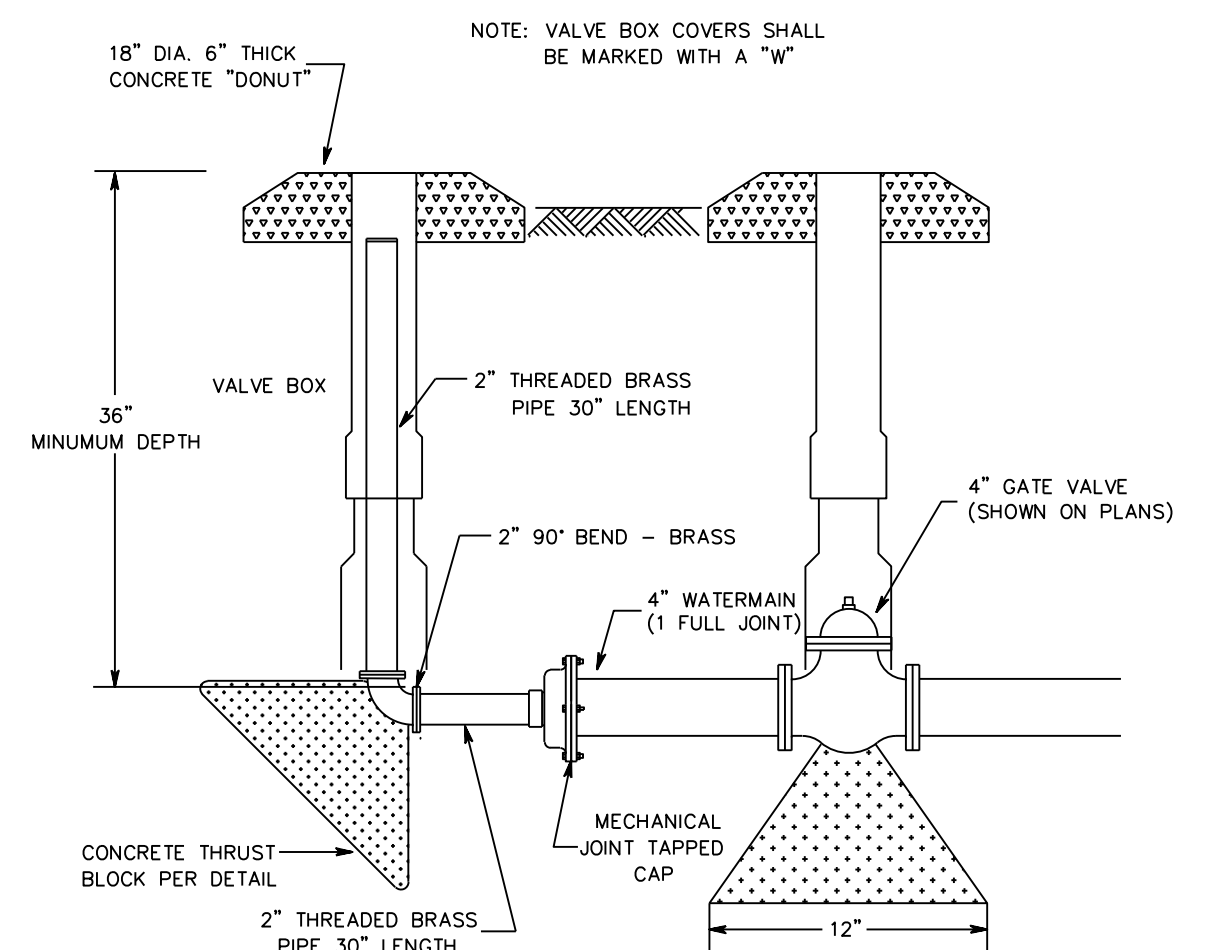
**CULVERT CROSSING DETAIL**  
 NTS



**PVC SANITARY SEWER SERVICE**  
 NTS



**PAVEMENT REPAIR DETAIL**  
 NTS



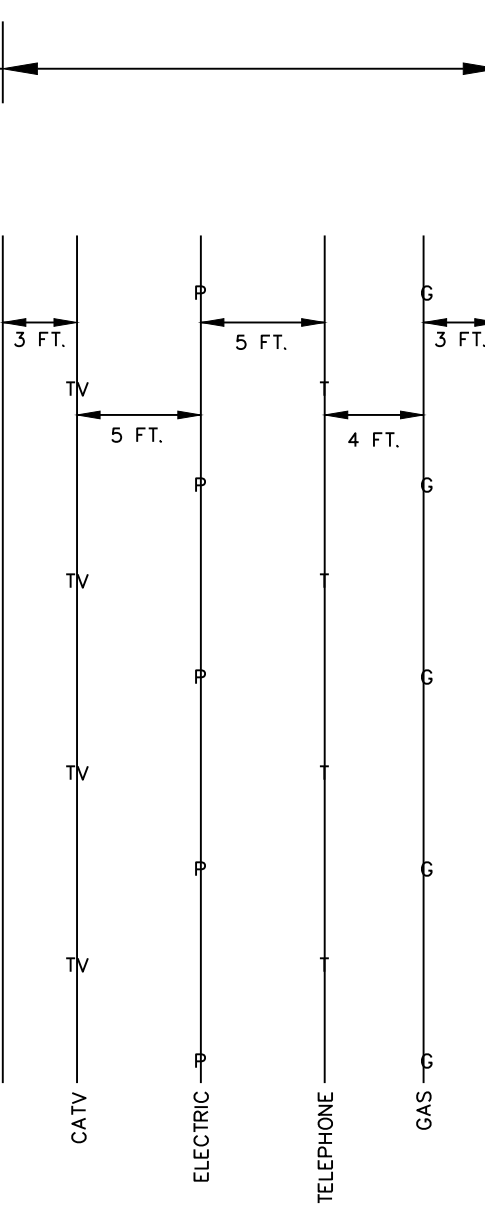
**BLOW-OFF DETAIL**  
 NTS

- A. CITY OF ELIZABETH CITY UTILITY EASEMENT**
- A UTILITY EASEMENT FOR THE INSTALLATION, MAINTENANCE AND OPERATING OF SERVICES SHALL BE DESIGNATED AS SHOWN ON PLANS.
  - THE INSTALLATION OF UNDERGROUND SERVICE LINES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. THE OWNER, CONTRACTOR, OR DEVELOPER SHALL CONTACT THE SERVICE SUPPLIER PRIOR TO THE INSTALLATION OF ANY SERVICE, TEMPORARY OR PERMANENT. THE SUPPLIER OF SAID SERVICE SHALL THEREAFTER BE DEEMED TO HAVE A DEFINITE AND PERMANENT EASEMENT ON THE PROPERTY CONSISTING OF A FIVE (5) FOOT STRIP EXTENDING TWO AND ONE HALF (2.5) FEET ON EACH SIDE OF THE SERVICE LINE. THIS EASEMENT WILL EXTEND FROM THE SERVICE EQUIPMENT TO THE SERVICE ENTRANCE AT THE STRUCTURE. THE PURPOSE OF THIS EASEMENT IS FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF SERVICE EQUIPMENT.
  - B. INSTALLATION**
    - ELECTRIC POWER, NATURAL GAS, CABLE TELEVISION, AND TELEPHONE LINES SHALL BE INSTALLED WITHIN THE TWENTY (20) FOOT EASEMENT IN ACCORDANCE WITH THE PLAN UTILITY LAYOUT AS SHOWN HEREON, WITH THE EXCEPTION OF ROAD CROSSINGS.
    - ALL CABLES, CONDUITS, PIPES, AND TUBING FOR THE SERVICE OF ELECTRIC POWER, NATURAL GAS, TELEPHONE, OR CABLE TELEVISION SHALL BE UNDERGROUND OR AS AGREED UPON BY THE SERVICE PROVIDER AND THE CUSTOMER. THE SERVICE EQUIPMENT SHALL BE ABOVE GROUND. SOME EXAMPLES OF SERVICE EQUIPMENT ARE AS FOLLOWS, BUT NOT LIMITED TO:
      - ELECTRIC DISTRIBUTION TRANSFORMERS, SECONDARY PEDESTALS, METER PEDESTALS, SWITCH GEAR, STREET LIGHTING POLES, TRAFFIC SIGNAL POLES AND EQUIPMENT, TELEPHONE PEDESTALS, CABLE TELEVISION PEDESTALS, RADIO ANTENNAE, VALVES.
      - SERVICE CONNECTIONS SUCH AS GAS AND ELECTRIC METERS, TELEPHONE AND CABLE TELEVISION TERMINATION ENCLOSURES.
      - TEMPORARY EQUIPMENT FOR EMERGENCY SERVICE OR RELATED TO A CONSTRUCTION PROJECT.
    - ALL PROPERTY CORNERS SHALL BE LOCATED AND CLEARLY MARKED PRIOR TO THE INSTALLATION OF ANY UTILITIES.
    - THE UTILITY EASEMENT SHALL BE MARKED OR SUFFICIENT REFERENCE POINTS BE INSTALLED IN ORDER THAT EACH UTILITY WILL BE CAPABLE OF DETERMINING THEIR ASSIGNED SPACE WITH THE EASEMENT.

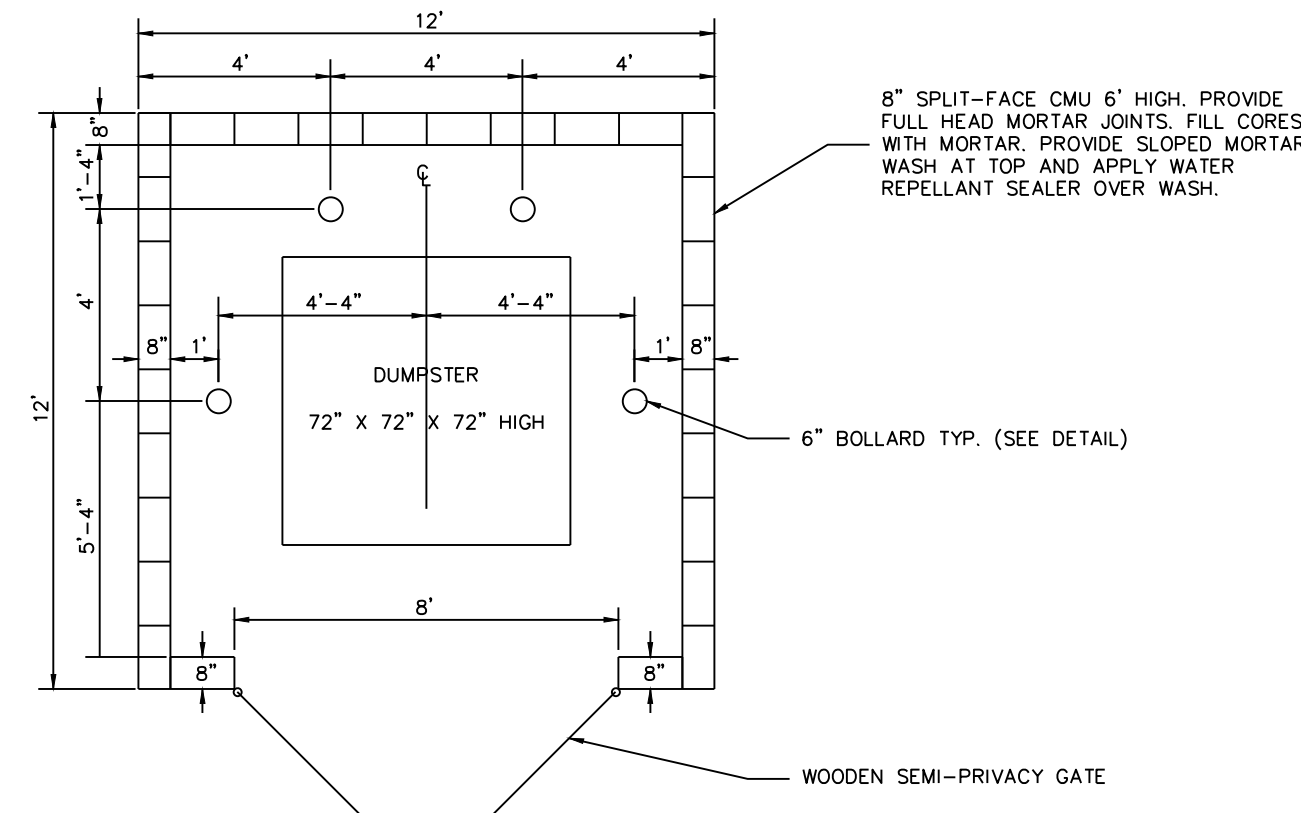
- C. ENCROACHMENTS:**
- LAWNS AND LANDSCAPING SHALL BE PERMITTED ON THE EASEMENTS. LANDSCAPING SHALL CONSIST ONLY OF LOW GROWING PLANTS OR ORNAMENTAL SHRUBBERY. TREES THAT ARE EXPECTED TO GROW TO A HEIGHT OF MORE THAN SIX (6) FEET ARE NOT PERMITTED. TREES OR VEGETATION REQUIRING HEAVY MECHANICAL EQUIPMENT TO INSTALL SHALL NOT BE PERMITTED. THE UTILITY COMPANIES SHALL NOT BE HELD RESPONSIBLE FOR DAMAGE TO LAWNS OR LANDSCAPING ON THIS EASEMENT DURING NORMAL MAINTENANCE OR EMERGENCY SERVICE RESTORATION.
  - NO BUILDING, STRUCTURE OR PART THEREOF SHALL ENCRUCH UPON THE UTILITY EASEMENT.
  - THE EASEMENT SHALL NOT BE OBSTRUCTED IN ANY WAY AS WITH THE STORAGE OR STOCK PILING OF MATERIALS SUCH AS DIRT, GRAVEL, STONE, ETC.
  - D. GENERAL:**
    - THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE UNDERGROUND FACILITIES LOCATED INSIDE THE EASEMENT ON HIS PROPERTY. THEY SHALL PREVENT ANY SUBSTANTIAL CHANGE OF GRADE OR ELEVATION AND CONSTRUCTION OF ANY KIND THAT MAY DAMAGE THE UTILITIES WITHIN THE EASEMENT.
    - DAMAGE CAUSED BY THE NEGLIGENCE OF THE OWNER OR HIS AGENTS SHALL BE THE RESPONSIBILITY OF THE OWNER. HE SHALL PAY FOR THE REPAIR, REPLACEMENT, OR RELOCATION OF THE DAMAGED FACILITY.
    - EACH UTILITY COMPANY SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR UNDERGROUND FACILITY.
    - EACH UTILITY COMPANY THROUGH ITS EMPLOYEES, CONTRACTORS, OR AGENTS SHALL AT ANY AND ALL TIMES HAVE ACCESS TO THE EASEMENT FOR THE PURPOSE OF INSPECTING, INSTALLING, REMOVING, REPAIRING, OR REPLACING THEIR FACILITY OR ANY PORTION THEREOF.
    - EACH UTILITY COMPANY RESERVED THE RIGHT TO NOT SUPPLY UNDERGROUND SERVICE WHEN, IN ITS JUDGEMENT, IT IS IMPRACTICAL OR CONTRARY TO SOUND OPERATING OR ENGINEERING PRACTICES TO DO SO. EXAMPLES MAY INCLUDE UNUSUALLY ROUGH TERRAIN, WET LANDS, LARGE QUANTITIES OF ROCK, OR UNSUITABLE BEDDING CONDITIONS.
    - IT IS IMPORTANT THAT CLOSE COORDINATION EXIST BETWEEN THE DEVELOPER OR OWNER AND THE DIFFERENT UTILITIES. IT IS THE RESPONSIBILITY OF THE DEVELOPER OR OWNER TO NOTIFY AND COORDINATE THE INSTALLATION OF THE UTILITIES TO ACCOMPLISH AN ORDERLY CONSTRUCTION OF THE PROPERTY.
    - ALL FACILITIES SHALL BE INSTALLED AND CONSTRUCTED TO COMPLY WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES AND REGULATIONS.

SITE CONTRACTOR SHALL COORDINATE WITH CITY OF ELIZABETH CITY ELECTRICAL DEPARTMENT TO ENSURE THAT ELECTRICAL CONDUITS ARE INSTALLED PRIOR TO PLACEMENT OF ANY CURB & GUTTER, ABC STONE OR PAVEMENT

**20 FT. UTILITY EASEMENT**



**PLAN UTILITY LAYOUT**



**DUMPSTER ENCLOSURE**  
 NTS

**RELEASED FOR CONSTRUCTION**

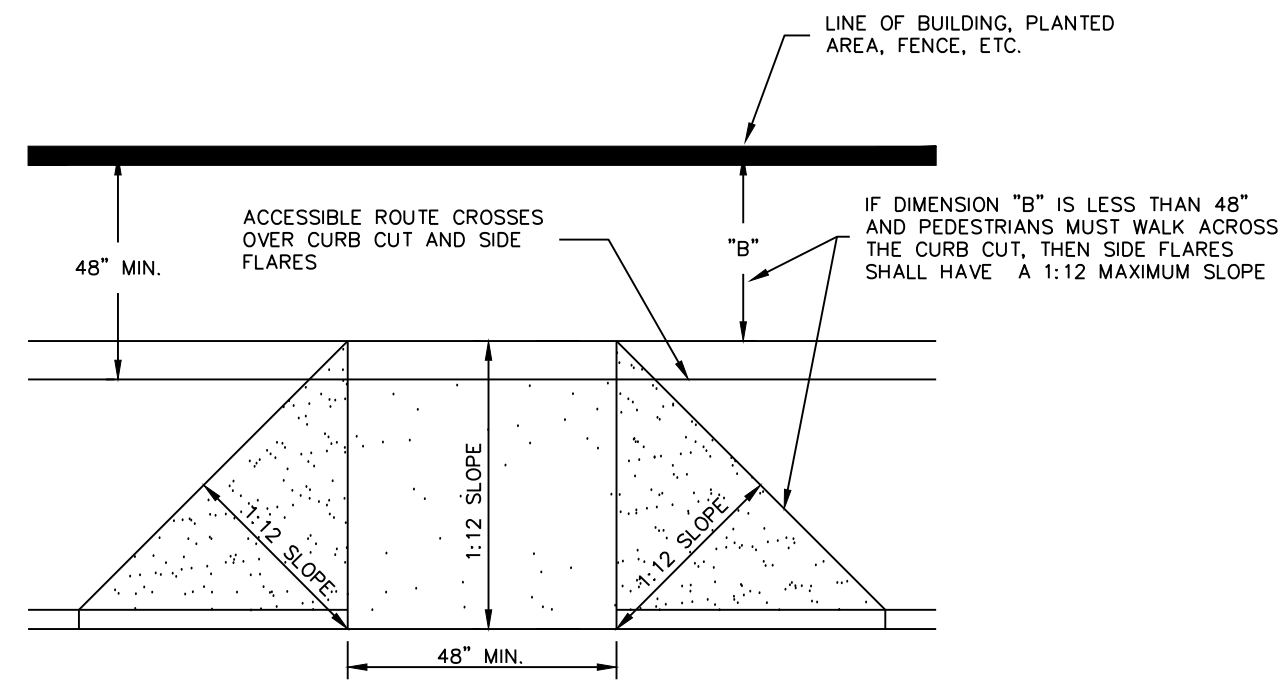
KEY PLAN:

Project #: 090120  
 Drawing #: 090120 Details  
 Drawn: BLR  
 Checked: KDH  
 Approved: SCR  
 Date: 08/07/09  
 Sheet #: 5/6  
 Scale: 1:20

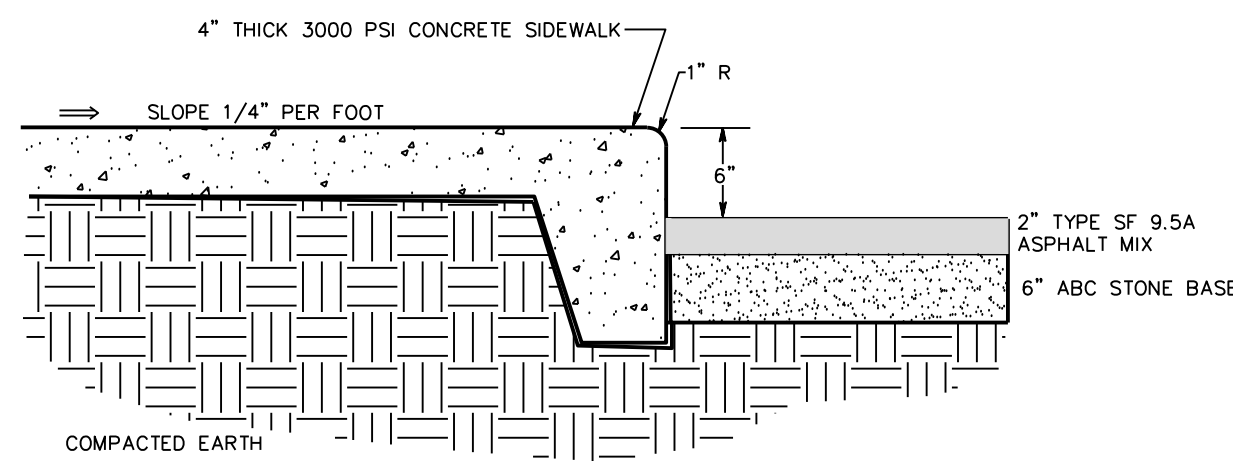
REVISIONS:	NUM.	DATE	DESCRIPTION
1	12-03-09		TRC & Removal of connecting drive
2	2-02-10		Changed Dumpster Detail
3	2-23-10		Changed Pavement Repair Detail
4	2-23-10		Released For Construction

SHEET TITLE:  
**Details**

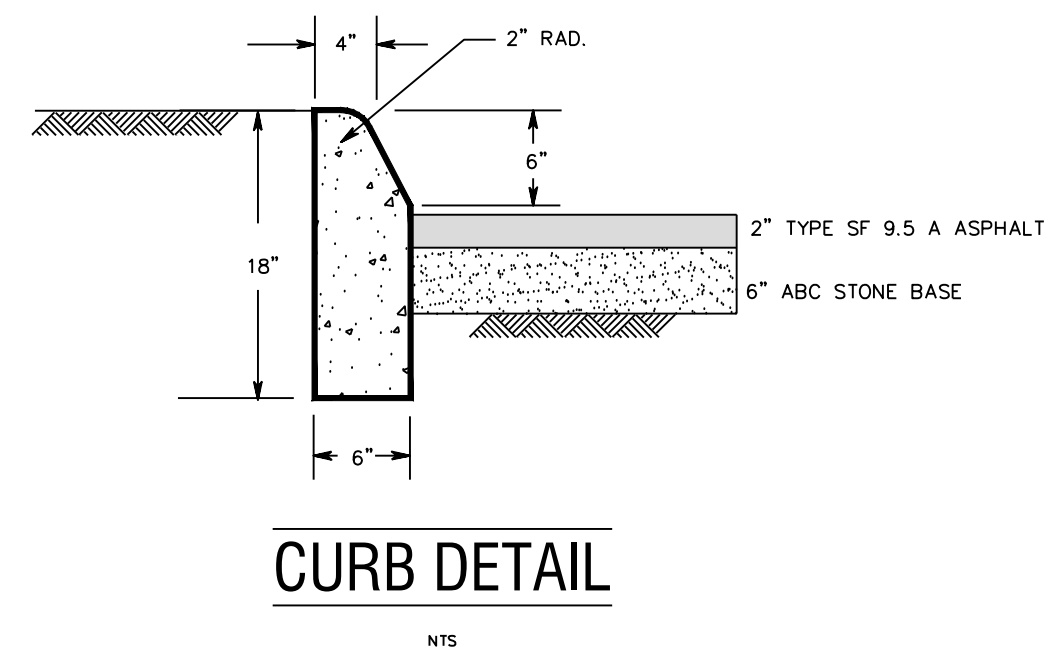
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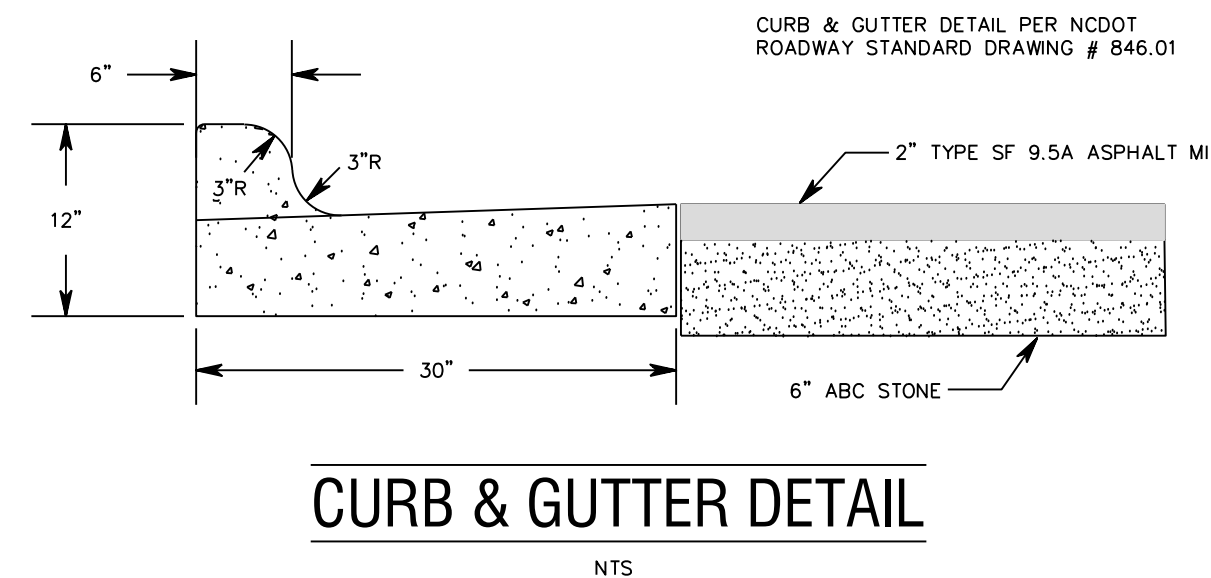
**HANDICAPPED ACCESS CURB CUT**  
NTS



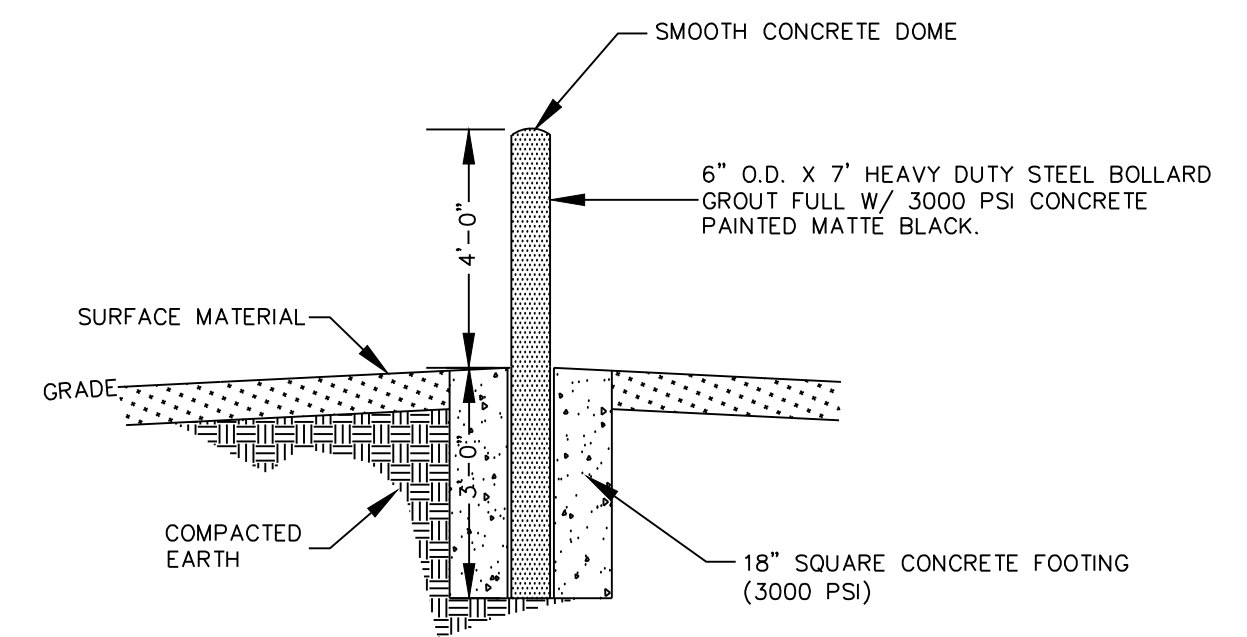
**CONCRETE SIDEWALK DETAIL**  
NTS



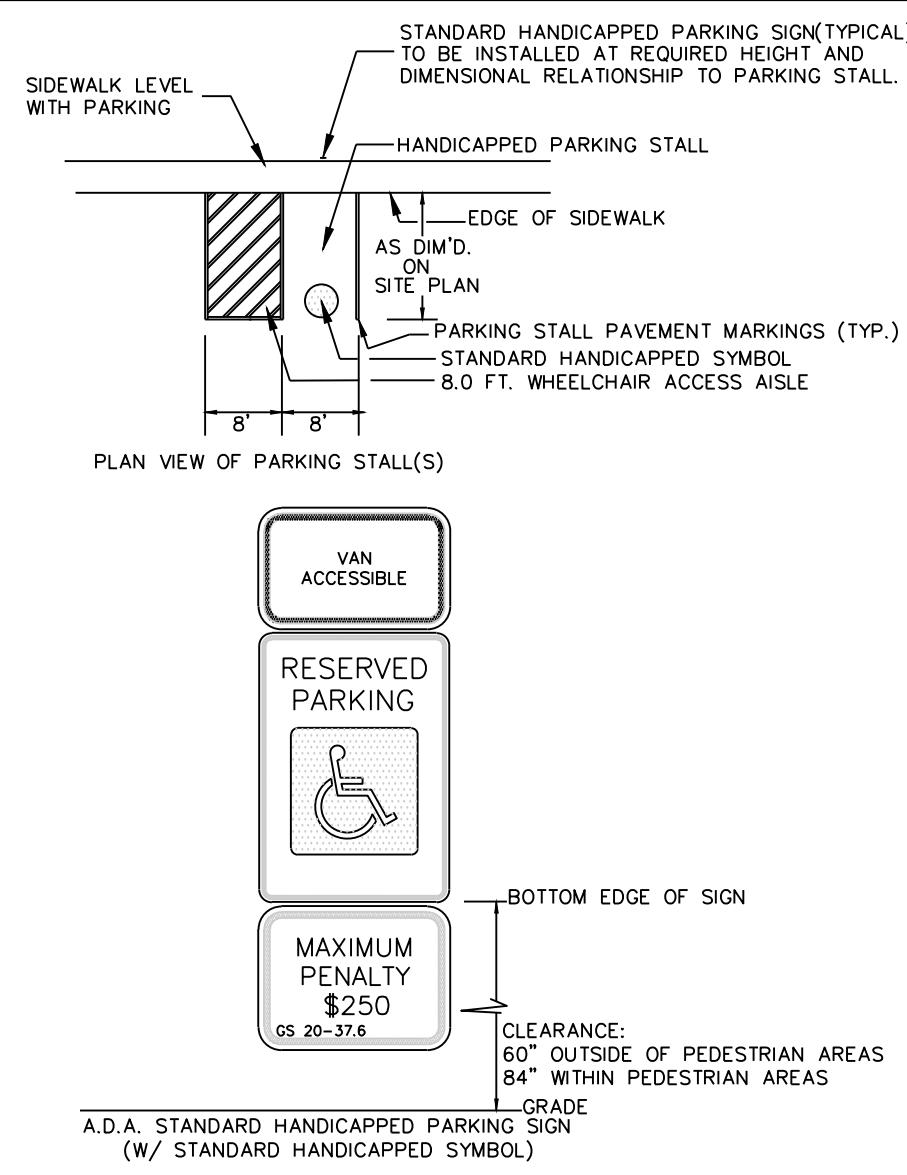
**CURB DETAIL**  
NTS



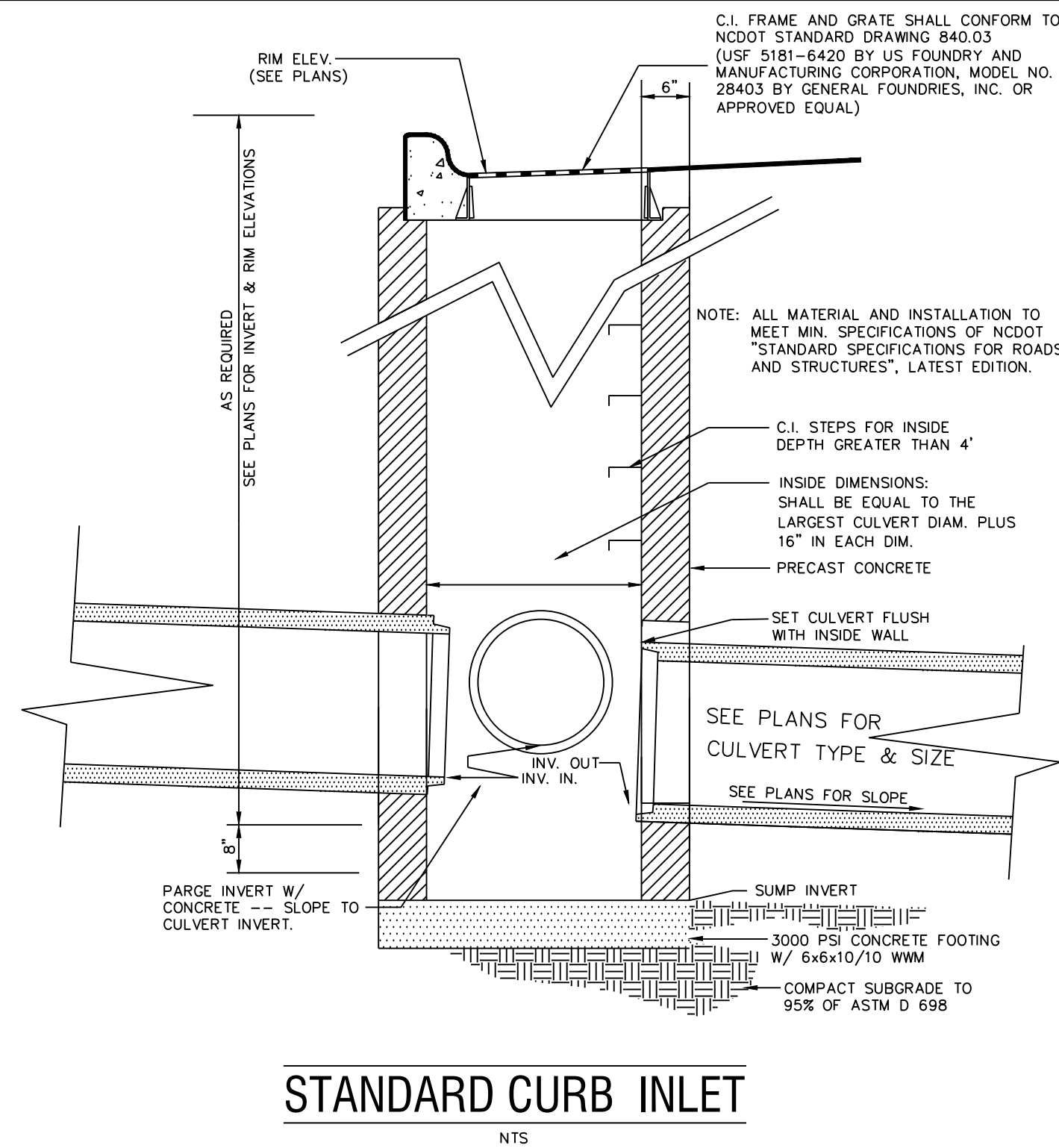
**CURB & GUTTER DETAIL**  
NTS



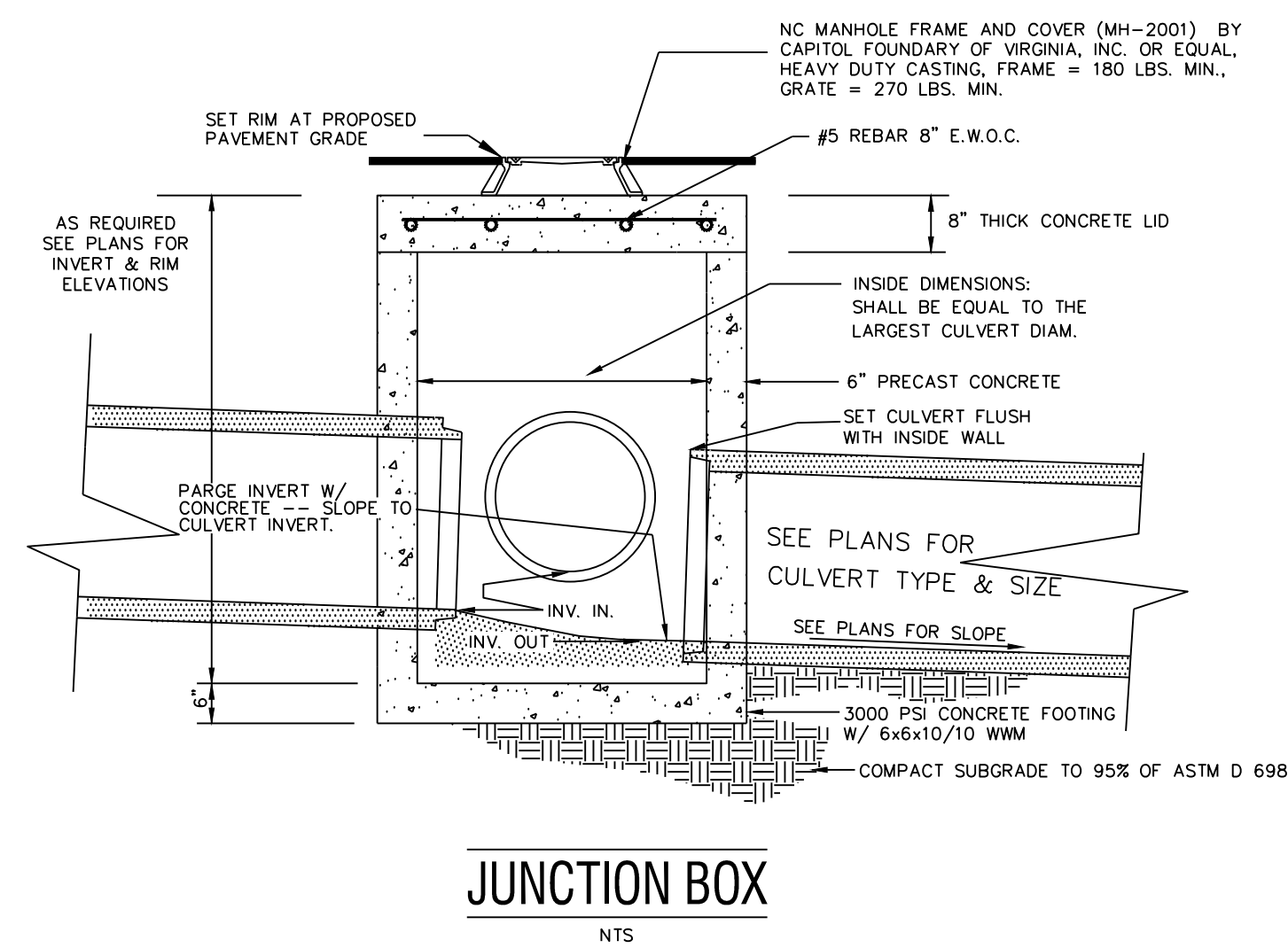
**PIPE BOLLARD DETAIL**  
NTS



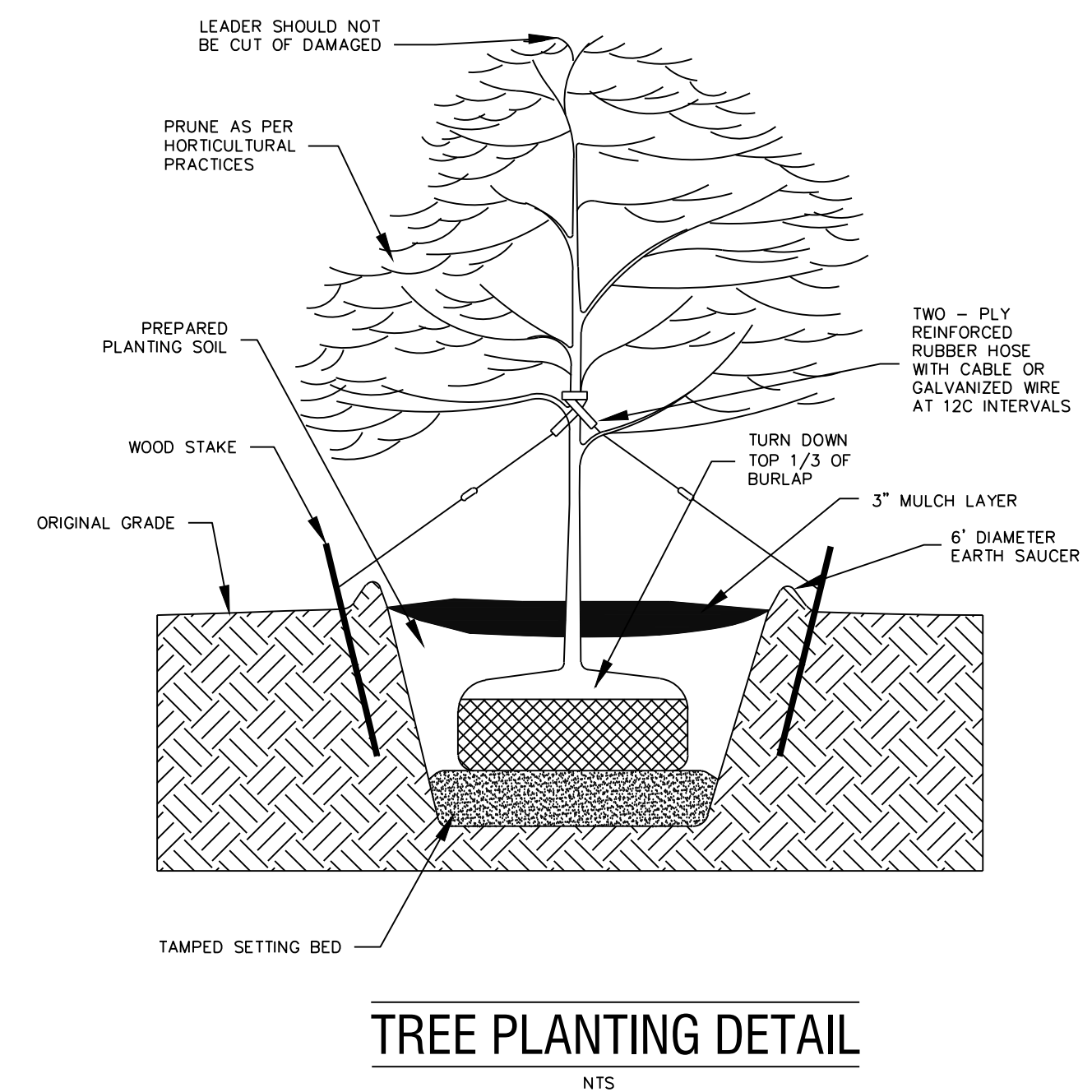
**HANDICAPPED PARKING, WALKWAY & RELATED DETAILS**  
NTS



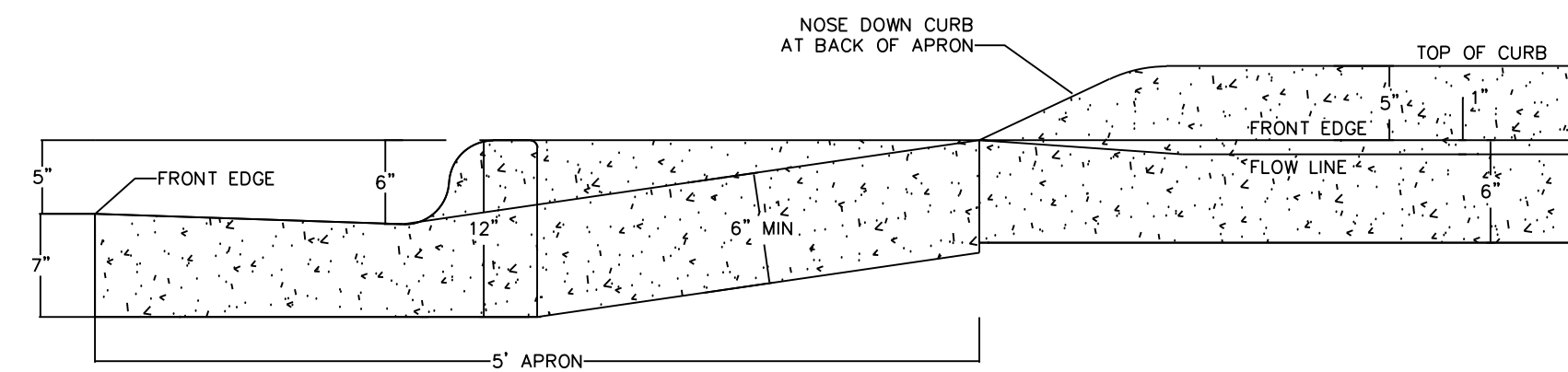
**STANDARD CURB INLET**  
NTS



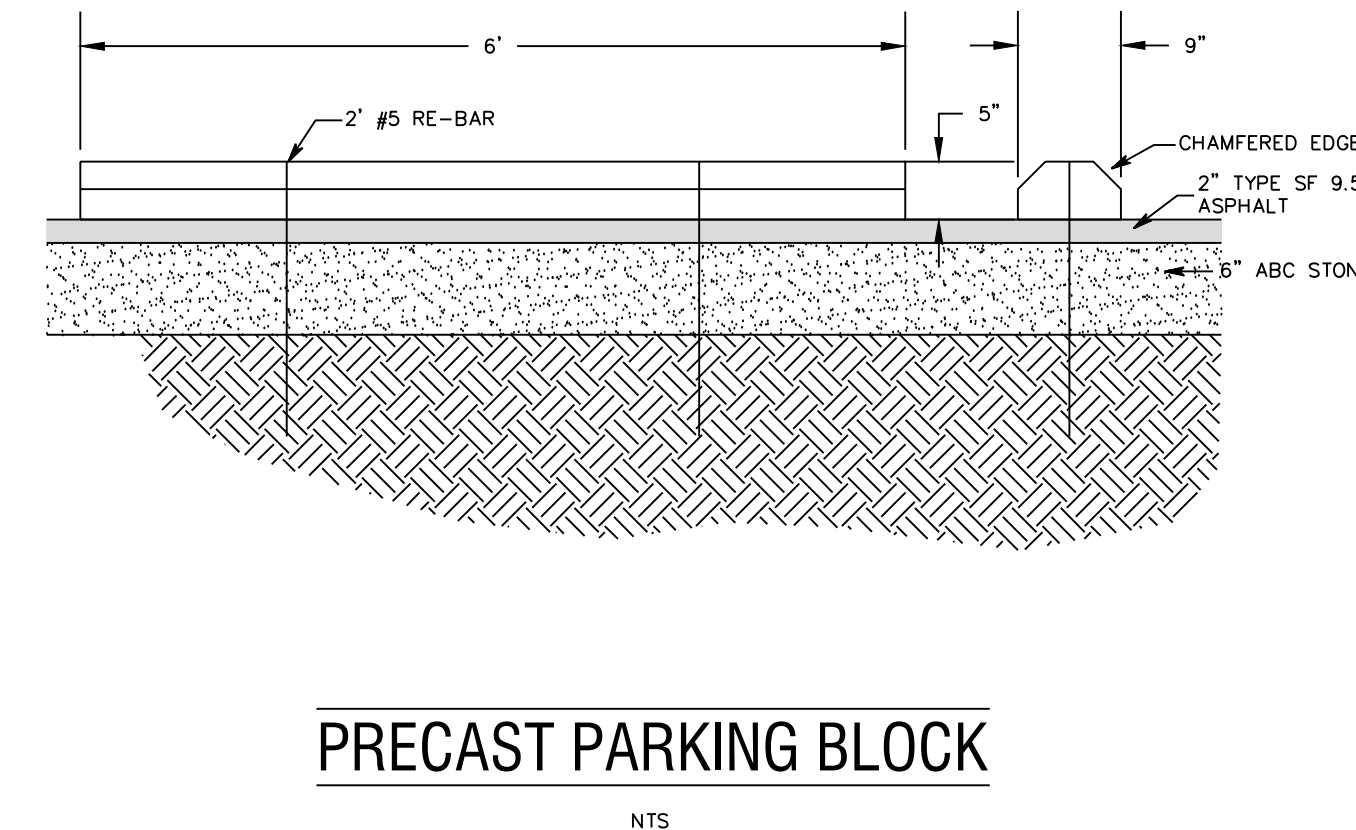
**JUNCTION BOX**  
NTS



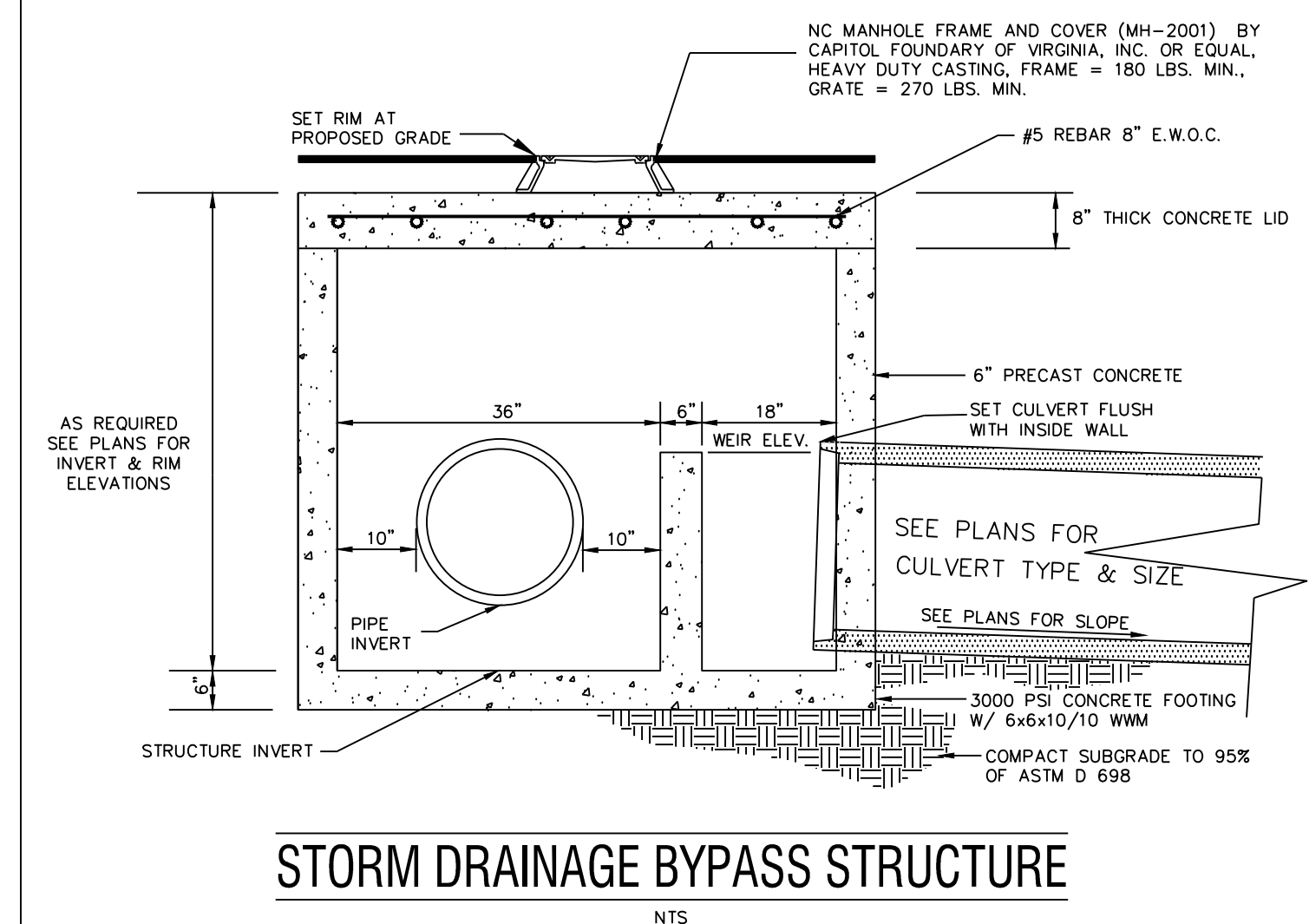
**TREE PLANTING DETAIL**  
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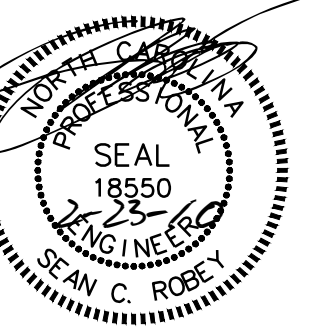
**CURB TRANSITION AT DRIVEWAY APRON**  
NTS



**PRECAST PARKING BLOCK**  
NTS



**STORM DRAINAGE BYPASS STRUCTURE**  
NTS



**Tandem, Inc.**  
Elizabeth City  
Pasquotank County  
North Carolina

**RELEASED FOR CONSTRUCTION**

KEY PLAN:

Project #:	090120
Drawing #:	090120 Details
Drawn:	BLR
Checked:	KDH
Approved:	SCR
Date:	08/07/09
Sheet #:	6/6
Scale:	1:20

REVISIONS:	NUM.	DATE	DESCRIPTION
1	12-03-09		TRC & Removal of connecting drive
2	2-23-10		Released For Construction

SHEET TITLE:  
**Details**

SHEET NUMBER:  
**6**

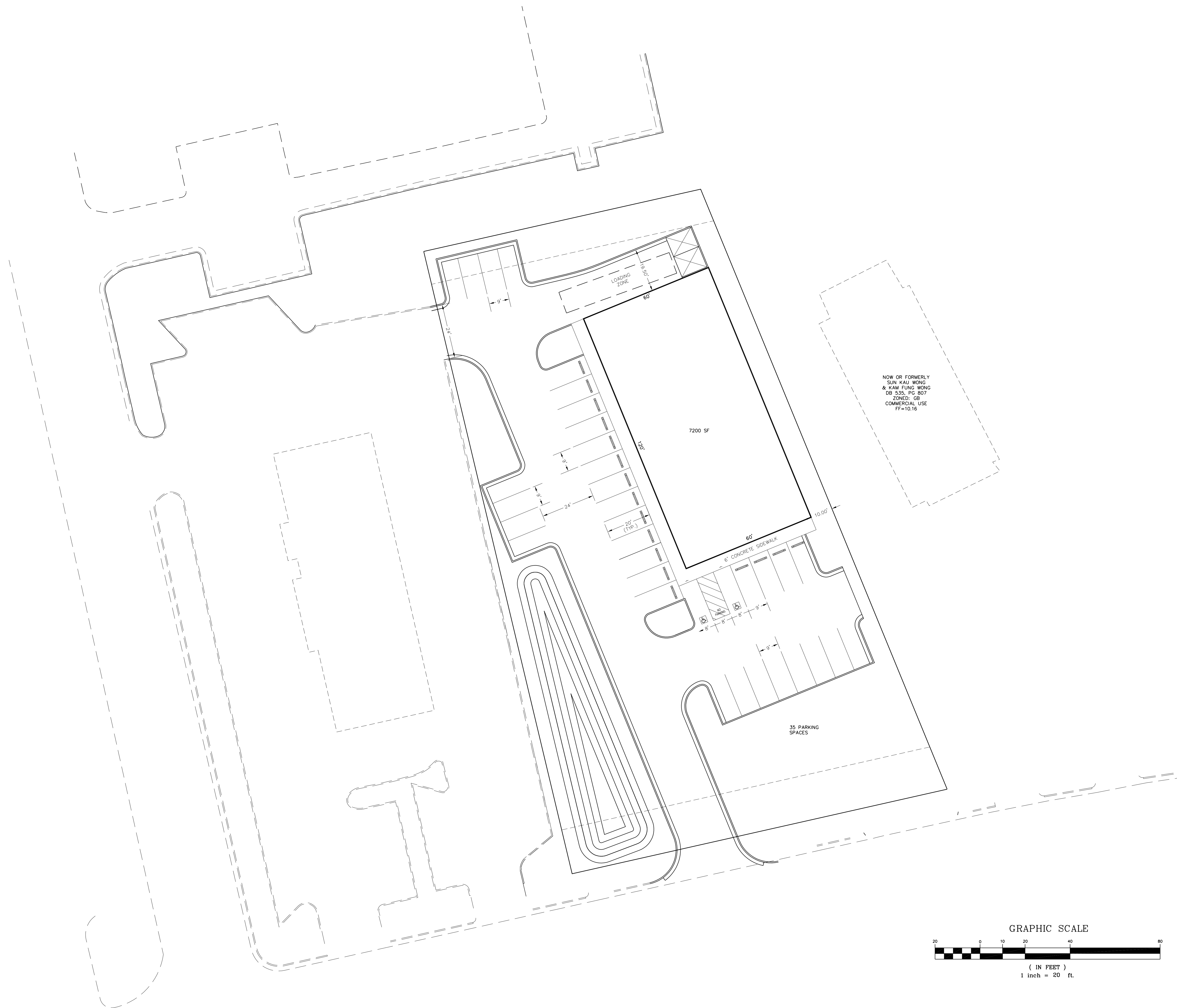
**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION,  
 SALES, OR RECORDATION.

Tandem, Inc.

Elizabeth City

Pasquotank  
 County

North  
 Carolina



KEY PLAN:

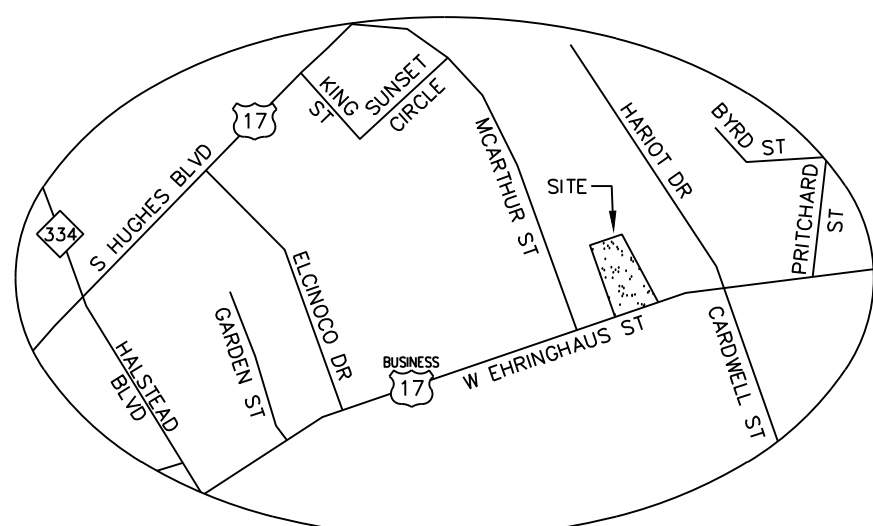
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 Drawing #: 090120 Schematic 1 unit  
 Drawn: JLW  
 Checked: KDH  
 Approved: SCR  
 Date: 06-30-09  
 Sheet #: 1 OF 1  
 Scale: 1" = 20'

REVISIONS:	NUM.	DATE	DESCRIPTION

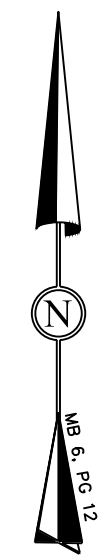
SHEET TITLE:  
**SCHEMATIC  
 SITE PLAN**  
 SHEET NUMBER:

**1**





**VICINITY MAP**  
NTS



NOTIFY  
NC ONE CALL  
AT  
1-800-632-4949  
FOR LOCATION OF EXISTING  
UTILITIES

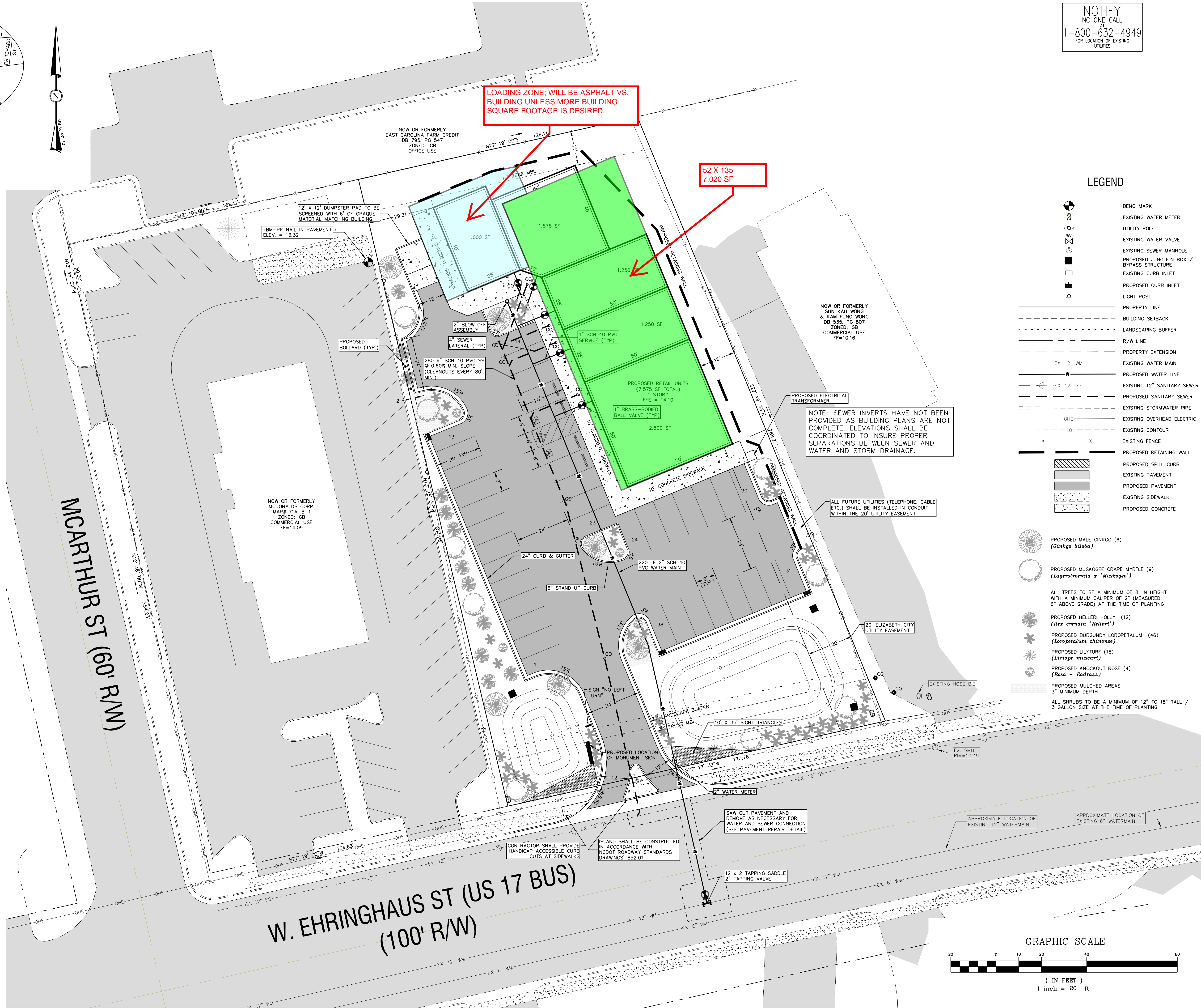
**HYMAN ROBEY**  
SOLUTIONS FROM THE GROUND UP  
150 US Hwy 158 E.  
PO Box 339  
Camden, NC 27921  
(252) 338-2913  
(252) 338-5552 fax  
www.hymanroby.com



**Tandem, Inc.**  
Elizabeth City  
Pasquotank County  
North Carolina

**SITE NOTES:**

- OWNER/DEVELOPER:  
TANDEM, INC.  
202 WEST MAIN STREET  
ELIZABETH CITY, NC 27909-4327  
252-338-1793
- SITE LOCATION: 1312 EHRINGHAUS STREET
- PN: 89130637 1575  
TAX MAP # 71A-B-6  
DB 341 PG 121, DB 1036 PG 202
- SITE AREA: 0.97 ACRES (42,186 SF)  
ZONED: GB
- DISTURBED AREA FOR THIS DEVELOPMENT WILL NOT EXCEED 1.1 ACRES.
- EXISTING COVERAGE:  
ONSITE:  
EXISTING BUILDING = 1,431 SF 3.39%  
EXISTING GRAVEL = 7,763 SF 18.40%  
EXISTING OPEN SPACE = 32,992 SF 78.21%  
TOTAL COVERAGE = 42,186 SF 100.00%  
OFFSITE IMPERVIOUS = 815 SF  
TOTAL IMPERVIOUS: 10,009 SF  
PROPOSED COVERAGE:  
ONSITE:  
PROPOSED BUILDING = 7,575 SF 17.96%  
PROPOSED CONCRETE = 2,656 SF 6.30%  
PROPOSED ASPHALT = 15,775 SF 37.39%  
OPEN SPACE = 16,180 SF 38.35%  
TOTAL COVERAGE = 42,186 SF 100.00%  
OFFSITE IMPERVIOUS = 26,006 SF (61.65%)  
OFFSITE IMPERVIOUS = 668 SF  
TOTAL IMPERVIOUS = 26,674 SF
- PARKING SPACES REQUIRED: 38  
(1 SPACE PER 200 SF GROSS FLOOR AREA FOR RETAIL USE)  
= 38  
REGULAR PARKING SPACES PROVIDED: 36  
HANDICAPPED SPACES PROVIDED: 2  
PARKING SPACES PROVIDED = 36+2 = 38  
TOTAL SPACE COUNT (W/ISLANDS) = 38+4 = 42
- LANDSCAPING MUST BE INSTALLED AS SHOWN ON THIS PLAN. CHANGES MUST BE APPROVED BY THE ELIZABETH CITY PLANNING DEPARTMENT PRIOR TO INSTALLATION. ALL OPEN AREAS NOT PLANTED WITH TREES AND SHRUBS OR COVERED WITH MULCH SHALL BE PLANTED WITH GRASS.  
LANDSCAPING REQUIREMENTS:  
**MAJOR THOROUGHFARE STREET BUFFER:**  
1 CANOPY TREE, 10 SHRUBS FOR EVERY 50 FT  
170.76' FRONTAGE = 24' DRIVEWAY + 146.76'  
147' FRONTAGE = 3 CANOPY TREES, 30 SHRUBS  
PROVIDED: 3 CANOPY TREES, 40 SHRUBS  
(DUE TO EXISTING OVERHEAD UTILITIES, UNDERSTORY TREES ARE COUNTED AS CANOPY TOWARD FRONT BUFFER)  
**PARKING LOT - LANDSCAPE ISLANDS:**  
1 ISLAND, 1 CANOPY TREE FOR EVERY 10 SPACES  
36 SPACES = 3.6 ISLANDS, 3.6 CANOPY TREES  
PROVIDED: 4 ISLANDS, 4 CANOPY TREES  
(1 OF 4 TREES ARE UNDERSTORY DUE TO PROXIMITY TO OVERHEAD POWER LINES)  
**PARKING LOT - VEHICULAR SURFACE AREA:**  
1 CANOPY TREE EVERY 2,000 SF, 1 SHRUB EVERY 500 SF  
15,519 SF VSA = 7.76 CANOPY TREES, 31 SHRUBS  
PROVIDED: 8 CANOPY TREES, 33 SHRUBS  
(5 OF 8 TREES ARE UNDERSTORY DUE TO PROXIMITY TO OVERHEAD POWER LINES)
- THE PROPERTY IS LOCATED IN FLOOD ZONE "X" ACCORDING TO FEMA MAP PANEL, 3720891300 J, DATED OCTOBER 5, 2004.
- THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION WAS TAKEN FROM A RECOMBINATION SURVEY TITLED "RECOMBINATION SURVEY FOR TANDEM, INC." AS PREPARED BY HYMANROBEY.
- THERE ARE NO WETLANDS ON THIS SITE.
- ELEVATIONS ARE BASED ON NAVD 88 STATION "KING" ELEV. = 7.65
- ALL UTILITY CONNECTIONS SHALL CONFORM TO THE CITY OF ELIZABETH CITY STANDARDS AND SHALL BE COORDINATED WITH THE CITY OF ELIZABETH CITY PUBLIC WORKS DEPARTMENT. EXISTING UTILITY CONNECTIONS SHALL BE UTILIZED.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- ANY FUTURE SIGNS SHALL REQUIRE APPROPRIATE PERMITS.
- CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- DUMPSTER PADS SHALL BE SCREENED WITH 6' HIGH OPAQUE WALL, ARCHITECTURALLY COMPATIBLE WITH THE BUILDING. SEE SHEET 5, DECORATIVE WALL AND GATE. WALL MAY HAVE TO EXCEED 6' TO ACCOMMODATE DUMPSTER HEIGHT AND LID.
- CONTRACTOR SHALL NET TAP EXISTING 12" WATER MAIN IN THE PRESENCE OF THE ENGINEER AND A REPRESENTATIVE OF THE ELIZABETH CITY PUBLIC WORKS DEPARTMENT. CONTACT ELIZABETH CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO CONSTRUCTION TO COORDINATE INSPECTION.
- DRAINAGE/UTILITY EASEMENTS SHALL REMAIN FREE OF SUBSTANTIAL STRUCTURES AND THE REPAIR TO ANY STRUCTURE OR LANDSCAPING IN THE EASEMENT FOLLOWING ACCESS TO FACILITIES BY THE CITY OR UTILITY COMPANY SHALL BE AT THE EXPENSE OF THE OWNER.
- SITE LIGHTING WILL BE PROVIDED BY FLOOD LIGHTS LOCATED ON ALL BUILDING CORNERS. ADDITIONAL DECORATIVE LIGHTING WILL BE PROVIDED AT EACH DOOR. SEE BUILDING PLANS.
- DUE TO EXISTING OVERHEAD UTILITIES, CRAPE MYRTLES HAVE EACH BEEN COUNTED AS ONE-HALF CANOPY TREE FOR THE PURPOSES OF REQUIRED PARKING LOT LANDSCAPING.



LOADING ZONE: WILL BE ASPHALT VS. BUILDING UNLESS MORE BUILDING SQUARE FOOTAGE IS DESIRED.

52 X 135  
7,020 SF

NOW OR FORMERLY  
SUN KAU WONG  
& KAM FUNG WONG  
DB 535, PG 807  
ZONED: GB  
COMMERCIAL USE  
FF=10.16

NOTE: SEWER INVERTS HAVE NOT BEEN PROVIDED AS BUILDING PLANS ARE NOT COMPLETE. ELEVATIONS SHALL BE COORDINATED TO INSURE PROPER SEPARATIONS BETWEEN SEWER AND WATER AND STORM DRAINAGE.

ALL FUTURE UTILITIES (TELEPHONE, CABLE ETC.) SHALL BE INSTALLED IN CONDUIT WITHIN THE 20' UTILITY EASEMENT

**LEGEND**

- BENCHMARK
- EXISTING WATER METER
- UTILITY POLE
- EXISTING WATER VALVE
- EXISTING SEWER MANHOLE
- PROPOSED JUNCTION BOX / BYPASS STRUCTURE
- EXISTING CURB INLET
- PROPOSED CURB INLET
- LIGHT POST
- PROPERTY LINE
- BUILDING SETBACK
- LANDSCAPING BUFFER
- R/W LINE
- PROPERTY EXTENSION
- EXISTING 12" WM
- PROPOSED WATER LINE
- EXISTING 12" SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORMWATER PIPE
- EXISTING OVERHEAD ELECTRIC
- EXISTING CONTOUR
- EXISTING FENCE
- PROPOSED RETAINING WALL
- PROPOSED SPILL CURB
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING SIDEWALK
- PROPOSED CONCRETE

- PROPOSED MALE GINKGO (6)  
*(Ginkgo biloba)*
- PROPOSED MUSKOGEE GRAPE MYRTLE (9)  
*(Lagerstroemia x 'Muskogee')*
- ALL TREES TO BE A MINIMUM OF 8' IN HEIGHT WITH A MINIMUM CALIPER OF 2" (MEASURED 6" ABOVE GRADE) AT THE TIME OF PLANTING
- PROPOSED HELLEBORUS (12)  
*(Helleborus 'Helleborus')*
- PROPOSED BURGUNDY LOROPETALUM (46)  
*(Loropetalum chinense)*
- PROPOSED LILYTURF (18)  
*(Liriope muscari)*
- PROPOSED KNOCKOUT ROSE (4)  
*(Rosa - Radrazz)*
- PROPOSED MULCHED AREAS  
3" MINIMUM DEPTH
- ALL SHRUBS TO BE A MINIMUM OF 12" TO 18" TALL / 3 GALLON SIZE AT THE TIME OF PLANTING

**RELEASED FOR CONSTRUCTION**  
KEY PLAN:

Project #: 090120  
Drawing #: 090120 - Site  
Drawn: BLR  
Checked: KDH  
Approved: SCR  
Date: 08/07/09  
Sheet #: 2/6  
Scale: 1:20

REVISONS:	NUM.	DATE	DESCRIPTION
1	12-03-09		TRC & Removal of connecting drive
2	2-02-10		Per Planning and NCDOT
3	2-23-10		Released For Construction

SHEET TITLE:  
**Site & Utility Plan**

SHEET NUMBER:  
**2**

